

Planning Justification Report

Zoning By-law Amendment Application

1111 15th Avenue East, Owen Sound, Grey County

April 2026

Prepared For:
ANDPET Realty Limited

1594 16th Avenue East
Owen Sound, ON N4K 5N3

Prepared By:
Baker Planning Group

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Stratford, ON N5A 7V8

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1 INTRODUCTION

The Planning Justification Report has been prepared on behalf of ANDPET Realty Limited (“Owner”), in support of a Zoning By-law Amendment Application to permit the construction of a residential apartment building on land known municipally as 1111 15th Avenue East, Owen Sound, Grey County (“Site”)(Figure 1).

The Site is 10,125 square metres in size, with frontage on both 15th Avenue East and 10th Street East. The Site is located at the terminus of 15th Avenue East, with access from an existing cul-de-sac. The land is currently vacant, with a pocket of trees on the southwest corner of the Site.

The Site forms part of a comprehensive development area, which has been subject to planning studies and approvals (Figure 2). The Site is located in the Sydenham Heights Planning Area and forms part of Plan of Subdivision 16M75. A significant portion of the Planning Area has been developed, including surrounding residential and commercial uses. A particular focus of the housing within the immediate area has been towards the older adult population, including:

- Southbridge Owen Sound Nursing Home
- Owen Sound Gardens Retirement Residence
- Seasons Retirement Community
- Bungalow townhouse dwelling units
- Commercial uses, including clinical and financial services

The Owner proposes to construct a new 8-storey residential apartment building on the Site, designed and programmed to serve the older adult population (“Proposed Development”). The development is known as East Court Residences Apartments. The building is proposed to contain 128 dwelling units, generally with 1 or 2 bedrooms. The development will cater to older adults who continue to seek independent housing while also wanting access to communal amenities to support their daily lives. This includes programmed activity spaces for socializing and exercising, as well as a dining option, if desired. This form of housing offers a transition between completely independent living and a retirement home. The intent is to offer a full range of amenities to support the older adult population as the age cohort transitions from low-density, freehold housing.

As part of the Proposed Development, the Owner is including affordable dwelling units, as defined by the Canadian Mortgage and Housing Corporation (“CMHC”). The Owner proposes that 10% of the dwelling units be affordable, contributing to housing needs in the City of Owen Sound.

The Site is designated as “Residential” on Schedule “A” to the City of Owen Sound Official Plan and “High Density Residential” on Schedule “A2” (Sydenham Heights Phase One and Phase Two Planning Areas). The City of Owen Sound Zoning By-law zones the Site as “General Residential (R5)”.



15TH AVENUE EAST

SITE

10th St E

10TH STREET EAST

Figure:
1

SITE

Site Location: 1111 15th Avenue East, Owen Sound, ON



To permit the Proposed Development, the Owner is requesting a Zoning By-law Amendment to provide for site-specific provisions within the "General Residential (R5)" Zone, including maximum permitted density, maximum permitted building height, and increased building setbacks to low-density residential uses for increased building heights

The purpose of this Report is to provide a summary of the Proposed Development, the applicable land use policies and the required supporting studies. Based on the summary of applicable information, the Report will address to the appropriateness of the Application and, if it is appropriate, constitutes good land use planning and is in the public interest.

2 SITE OVERVIEW

2-1 SITE

The Site is located on the eastern side of the City of Owen Sound within a newly developing area. With an overall land area of approximately 1 hectare, the Site has frontage on both 15th Avenue East and 10th Street East. The Site is located at the terminus of 15th Avenue East, with access from an existing cul-de-sac. The Site is legally described as Block 6, Plan 16M-75, subject to an easement in gross as in GY211952, City of Owen Sound.

The southern portion of the Site, which abuts 10th Street East, is at an elevation that is approximately 3 to 4 storeys in height above the terminus of the cul-de-sac on 15th Avenue East. The change in gradient is more pronounced adjacent to 10th Street East.

The Site forms part of a development block within an approved Plan of Subdivision, and is known as Block 6. The Owner completed comprehensive planning approvals for the larger area, and Block 6 is the final portion of the Plan of Subdivision to be constructed. The necessary road and servicing infrastructure have been installed as part of the subdivision approvals process.

The Site forms part of a comprehensive development area, which has been subject to planning studies and approvals. The Site is located in the Sydenham Heights Planning Area and forms part of Plan of Subdivision 16M75. A significant portion of the Planning Area has been developed, including surrounding residential and commercial uses. A particular focus of the housing within the immediate area has been towards the older adult population, including:

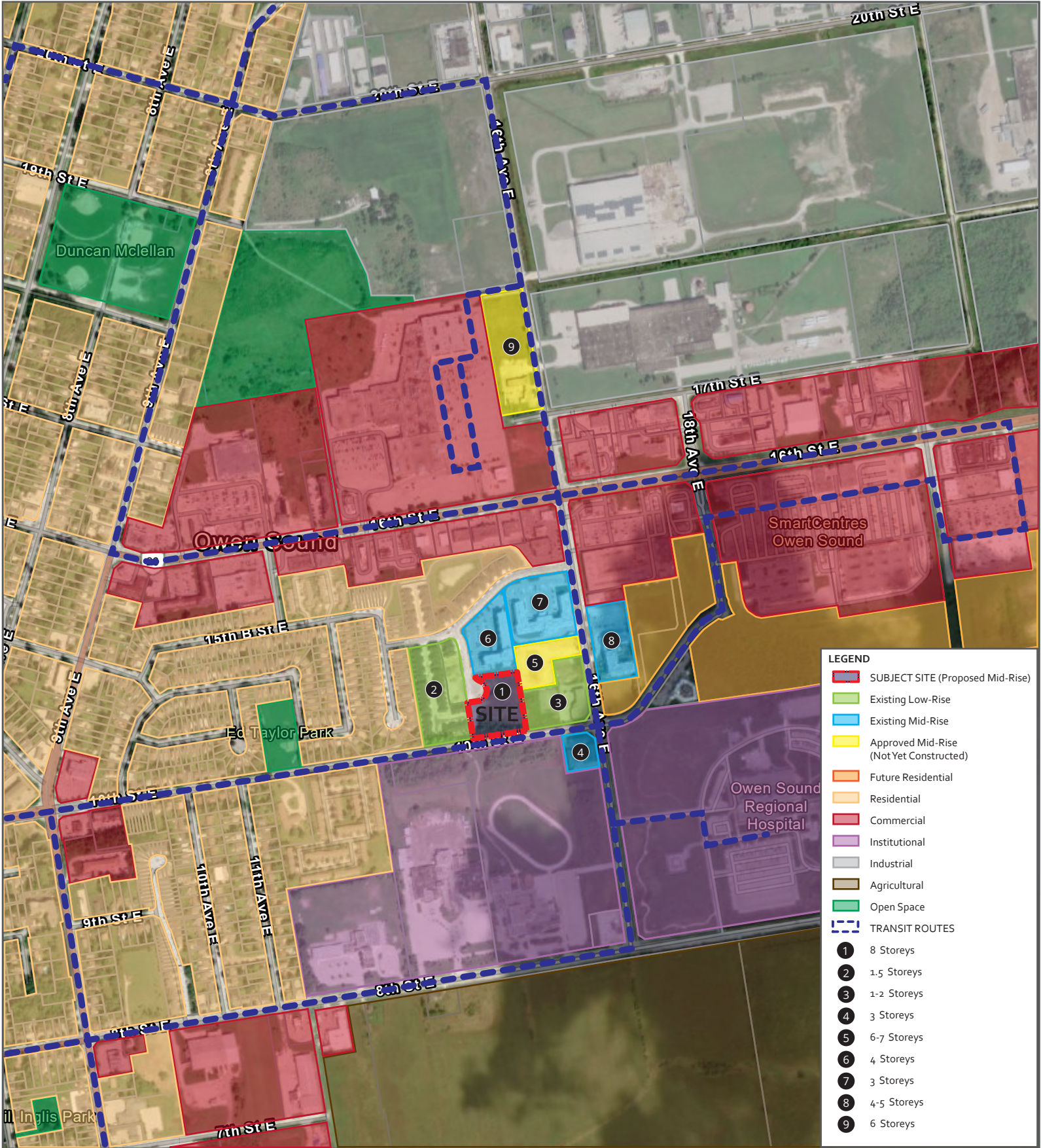
- Southbridge Owen Sound Nursing Home
- Owen Sound Gardens Retirement Residence
- Seasons Retirement Community
- Bungalow townhouse dwelling units
- Commercial uses, including clinical and financial services

The Site is also proximate to the commercial shopping area on Highway 26, the Georgian College Campus and Brightshores Health System - Owen Sound.

The surrounding area is also subject to development proposals, with the use, height and density illustrated on Figure 2.

The Site is well integrated into Owen Sound's transportation network, with access to a collector road and close proximity to municipal and regional arterial corridors. The subdivision connects seamlessly to the established road system, including key arterial routes.

Transit service is available within a short walking distance. A bus stop is located southeast of the site at 10th Street East and 16th Avenue East, served by the Core (Route 2), East Bayshore (Route 4), and the Crosstown (Route 3) within approximately 5 to 10 minutes. All routes operate



LEGEND

- SUBJECT SITE (Proposed Mid-Rise)
- Existing Low-Rise
- Existing Mid-Rise
- Approved Mid-Rise (Not Yet Constructed)
- Future Residential
- Residential
- Commercial
- Institutional
- Industrial
- Agricultural
- Open Space
- TRANSIT ROUTES

- ① 8 Storeys
- ② 1.5 Storeys
- ③ 1-2 Storeys
- ④ 3 Storeys
- ⑤ 6-7 Storeys
- ⑥ 4 Storeys
- ⑦ 3 Storeys
- ⑧ 4-5 Storeys
- ⑨ 6 Storeys

Figure:

2

SURROUNDING LAND USES

Site Location: 1111 15th Avenue East, Owen Sound, ON



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on 30-minute headways, looping through the Transit Terminal and major city destinations, with improved combined frequencies near the terminal.

The Site is also integrated into the city's active transportation network, which includes on-street bicycle routes, sidewalks, and multi-use trails. Designated cycling routes along 10th Street East, 8th Street East, and north-south corridors on 16th Street East provide strong neighbourhood connectivity. Additional trails within the East Court Residences subdivision support recreational and longer-distance travel.

Sidewalks on all surrounding streets, including 15th Avenue East, ensure continuous pedestrian access throughout the area.

Image 1: Site (Looking West)



Source: Baker Planning Group, 2026

Image 2: Looking South from Site Towards 10th Street East Retaining Wall



Source: Baker Planning Group, 2026

Image 3: Property Line Condition (Site on Right Side of Image)



Source: Baker Planning Group, 2026

Image 4: Surrounding Land Uses



Source: Baker Planning Group, 2026

3 PROPOSED DEVELOPMENT

The Conceptual Site Plan (Figures 3 to 18) illustrate a purpose-built, eight-storey residential building containing 128 dwelling units, supported by structured parking, landscaped open space, indoor and outdoor amenities, and a full suite of site-servicing and access features.

The development will cater to older adults who continue to seek independent living but also want access to communal amenities to support their daily lives. This includes programmed activity spaces for socializing and exercising, as well as a dining option, if desired. This form of housing offers a transition between completely independent living and a retirement home. The intent is to offer a full range of amenities to support the older adult population as the age cohort transitions from low-density, freehold housing.

It is the Owners' intent to offer the proposed dwelling units for rent, with at least 10% of the units considered affordable by CMHC.

Site Design

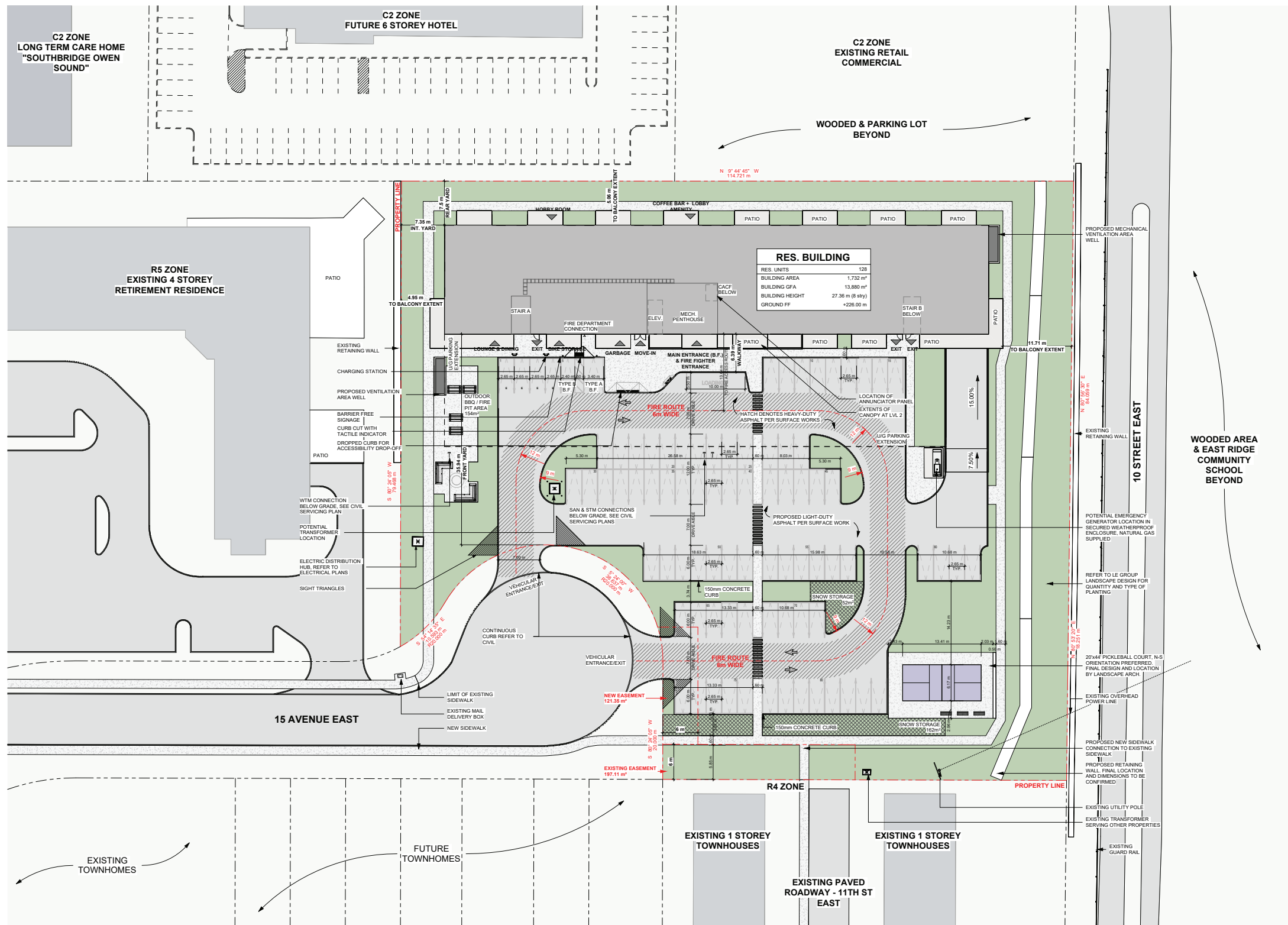
The Conceptual Site Plan illustrates the overall organization of the Proposed Development, including building placement, parking, circulation, and landscaped areas. The proposed building is positioned on the eastern portion of the Site, with surface parking and internal drive aisles located to the west. The largest setback—approximately 75 metres—is provided along the western property line to buffer adjacent low-rise residential uses. Additional setbacks include 7.5 metres from the eastern lot line, 7.35 metres from the north interior side lot line (4.95 metres to the balcony projection), and 14.18 metres from the south interior side lot line (11.71 metres to the balcony projection).

Vehicular access is provided via a single entrance on 15th Avenue East, leading to a circular driveway at the building's main entrance. A below-grade parking structure extends beneath the building and part of the site, while surface parking accommodates 169 spaces, including accessible and EV-charging spaces located closest to the building in the northeast corner.

Pedestrian access is supported by internal walkways that connect the public sidewalk to the main entrance. Loading, garbage, and service areas are located along the front façade, adjacent to the parking area. Landscaped areas are incorporated along the site perimeter, within parking islands, and around the building to enhance site character and buffering.

Overall Building Form

- A singular building is proposed that is 8 storeys in height (27.36 metres, plus the mechanical rooftop)
- A total gross floor area of 13,880 square metres is proposed
- The building footprint is 1,732 square metres, representing 17.1% lot coverage



SITE INFORMATION

CURRENT ZONE	GENERAL RESIDENTIAL (R5)	REQUIRED	PROVIDED
N/R	Number of Residential Units	0	128
ZBL 2010-078 (Dec 2023) - 6.6	Lot Area	450 m ²	10127.24 m ²
OP (Feb 2023) - 4.2.9.1	Residential Density (U/ha)	130.0	126.91791
ZBL 2010-078 (Dec 2023) - 6.6	Frontage	13.5 m	69.23 m
ZBL 2010-078 (Dec 2023) - 6.6	Building Height	12 m	27.36 m
ZBL 2010-078 (Dec 2023) - 6.6	Front Yard Setback	6.5 m	35.94 m
ZBL 2010-078 (Dec 2023) - 6.6	Interior Side Yard Setback West	4 m	7.35 m
ZBL 2010-078 (Dec 2023) - 6.6	Interior Side Yard Setback East	4 m	14.18 m
ZBL 2010-078 (Dec 2023) - 6.6	Rear Yard Setback	7.5 m	7.5 m
ZBL 2010-078 (Dec 2023) - 6.6	Canopy (FSI)	1.0	1.370551
N/R	Landscape Open Space	0%	48.13%
Landscape Open Space Breakdown			
Hardscape (Sidewalk Area)		= 737.45 m ²	(07.42%)
Softscape (Green Area)		= 4,049.10 m ²	(40.72%)
Total Landscape Open Space:		= 4,786.55 m²	(48.14%)
ZBL 2010-078 (Dec 2023) - 6.6	Lot Coverage	40%	17.1%
N/R	Amenity Area	0 m ²	2765.19 m ²
Minimum Amenity Area Breakdown			
Total Required Amenity Area: 600 m²			
Balcony Area		= 2,105.32 m ²	
Patio		= 181.87 m ²	
Indoor Amenity		= 288.80 m ²	
Outdoor Amenity		= 210.00 m ²	
Total Provided Amenity Area:		= 2,785.99 m²	(21.6 m² / Unit)
ZBL 2010-078 - 5.18.2	Parking Count, Residential	160	169
ZBL 2010-078 - 5.18.2	Parking Ratio, Residential	1.3	1.320313
ZBL 2010-078 - 5.19.1	Parking Count, Total Accessible	6	6
ZBL 2010-078 - 5.19.2	Parking Count, Accessible Type A	3.0	3
ZBL 2010-078 - 5.19.2	Parking Count, Accessible Type B	3.0	3
ZBL 2010-078 - 5.20.1	Parking Count, Bicycle	16.0	59

UNIT TYPE BREAKDOWN - TOTAL BUILDING

Name	Unit Area	Count	Count Ratio
ONE BED	45.67 m ²	6	6%
ONE BED	54.5 m ²	7	9%
ONE BED	59.33 m ²	1	1%
ONE BED	62.76 m ²	7	9%
ONE BED	65.46 m ²	1	1%
TWO BED	71.23 m ²	14	19%
TWO BED	97.34 m ²	68	53%
TWO BED	98.41 m ²	15	12%
TWO BED	111.43 m ²	7	9%
		104	81%
Grand Total:		128	100%

PARKING INFORMATION

Type	Provided	Surface	Garage	Location
ACCESSIBLE WITH AISLE	6	4	2	
EVI CHARGING	5	4	4	
STANDARD	153	79	74	
TOTAL SITE PARKING	167	87	80	

BIKE PARKING BREAKDOWN

Level	Total
Level 1	24
Parking Level 1	35
TOTAL	59

STORAGE LOCKER BREAKDOWN

Level	Total
Parking Level 1	37
TOTAL	37

		CLIENT 	ASSOCIATION WITH 		GENERAL DISCLAIMER 1. ALL CONSTRUCTION TO MEET THE CURRENT REQUIREMENTS OF THE ONTARIO BUILDING CODE AND ZONING BY-LAWS. 2. CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS, ASSEMBLIES, AND TAGS PRIOR TO CONSTRUCTION. DO NOT SCALE THE DRAWINGS. REPORT ANY DISCREPANCIES TO THE ARCHITECT. 3. THIS DRAWING TO BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATIONS, ARCHITECTURAL, STRUCTURAL, CIVIL, MECHANICAL, ELECTRICAL DRAWINGS, GEOTECHNICAL REPORT(S) & ENVIRONMENTAL REPORT(S). 4. ARCHITECTURAL DRAWINGS SHALL NOT BE REPRODUCED WITHOUT CONSENT FROM THE ARCHITECT.	PROJECT EAST COURT RESIDENCE APARTMENTS 1 Issued for ZBA 2026/03/26 BIM	SHEET NAME SITE PLAN SCALE 1:300	SHEET SIZE 24"x36" ISSUE DATE 2026-04-06 PROJECT # FDTA26-06 DRAWN BY POTA CHECKED BY POTA .A.003.
		FastTrack by Subbis 44 Mar Line, Harley, ON N0E 1E0 T: 519 424 2183 E: bim@bimstudio.ca	ADDRESS 14th AVENUE EAST, OWEN SOUND, ON CLIENT FAST TRACK MODULAR PRECAST					

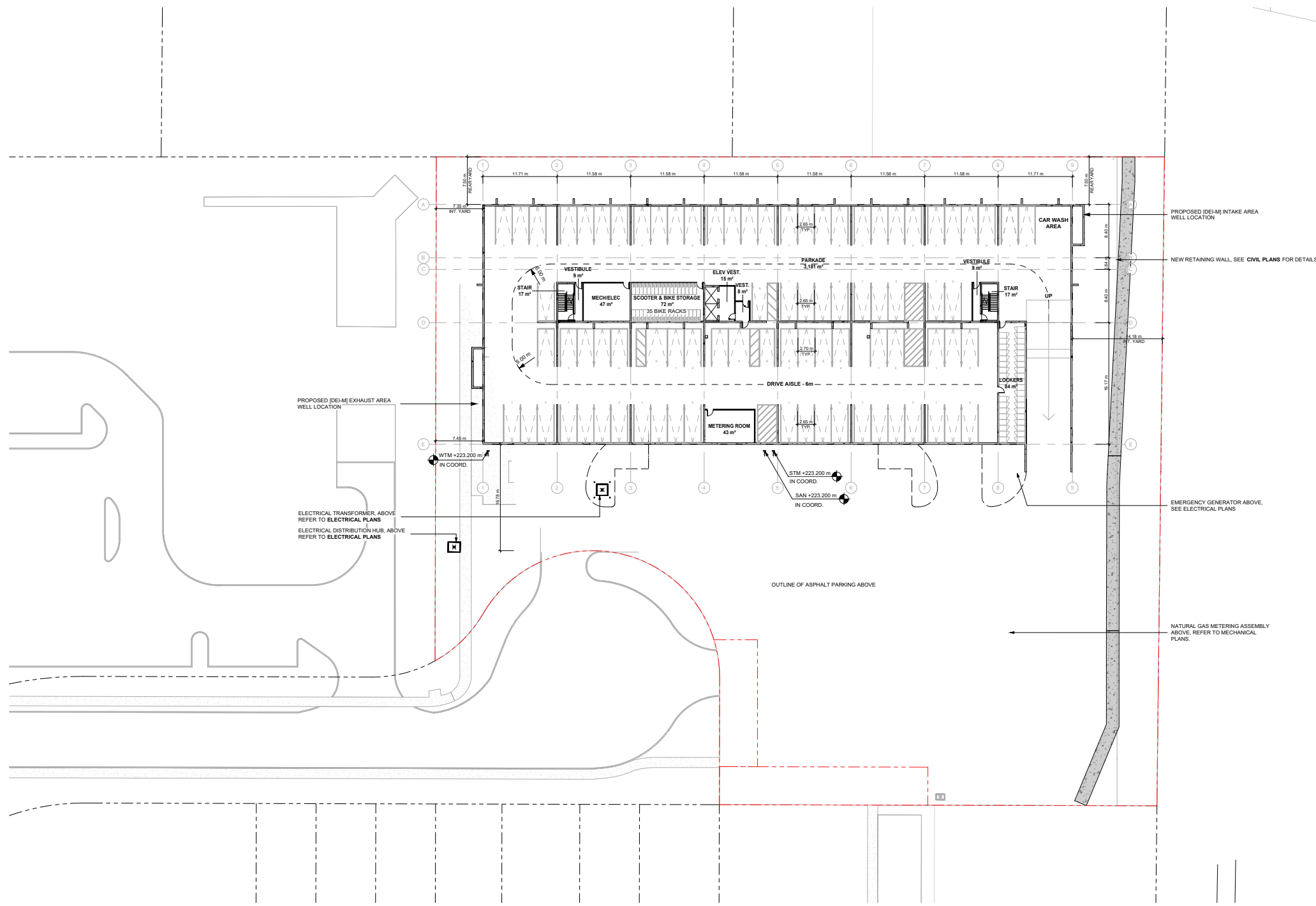
Figure:

3

CONCEPTUAL SITE PLAN

Site Location: 1111 15th Avenue East, Owen Sound, ON





SITE INFORMATION
CURRENT ZONE : GENERAL RESIDENTIAL (R1)

	REQUIRED	PROVIDED
N/R	0	128
Number of Residential Units		
ZBL 2010-078 (Dec 2023) - 6.6	450 m ²	10127.24 m ²
Lot Area		
OP (Feb 2022) - 4.2 B.1	130.0	126.391791
Residential Density (Units)		
ZBL 2010-078 (Dec 2023) - 6.6	13.5 m	69.23 m
Frontage		
ZBL 2010-078 (Dec 2023) - 6.6	12 m	27.36 m
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Interior Side Yard Setback West		
ZBL 2010-078 (Dec 2023) - 6.6	4 m	14.18 m
Interior Side Yard Setback East		
ZBL 2010-078 (Dec 2023) - 6.6	7.5 m	7.5 m
Rear Yard Setback		
ZBL 2010-078 (Dec 2023) - 6.6	1.0	1.370551
Density (F/S)		
N/R	0%	48.13%
Landscaped Open Space		
Landscape Open Space Breakdown		
Hardscape (Sidewalk Area):	= 737.45 m ²	(07.42%)
Softscape (Green Area):	= 4,049.10 m ²	(40.72%)
Total Landscape Open Space:	= 4,786.55 m ²	(48.14%)
ZBL 2010-078 (Dec 2023) - 6.6	40%	17.1%
Lot Coverage		
N/R	0 m ²	2765.19 m ²
Amenity Area		
Minimum Amenity Area Breakdown		
Total Required Amenity Area: 500 m ²		
Balconies Area:	= 2,166.32 m ²	
Patio:	= 151.87 m ²	
Indoor Amenity:	= 298.00 m ²	
Outdoor Amenity:	= 210.00 m ²	
Total Provided Amenity Area:	= 2,766.19 m ²	(21.6 m ² / Unit)
ZBL 2010-078 - 5.18.2	160	169
Parking Count, Residential		
ZBL 2010-078 - 5.18.2	1.3	1.320313
Parking Ratio, Residential		
ZBL 2010-078 - 5.19.1	6	6
Parking Count, Total Accessible		
ZBL 2010-078 - 5.19.2	3.0	3
Parking Count, Accessible Type A		
ZBL 2010-078 - 5.19.2	3.0	3
Parking Count, Accessible Type B		
ZBL 2010-078 - 5.20.1	16.0	59
Parking Count, Bicycle		

UNIT TYPE BREAKDOWN - TOTAL BUILDING

Name	Unit Area	Count	Count Ratio
ONE BED	48.67 m ²	8	6%
ONE BED	54.5 m ²	7	5%
ONE BED	59.33 m ²	1	1%
ONE BED	62.76 m ²	7	5%
ONE BED	66.46 m ²	1	1%
TWO BED	71.23 m ²	14	11%
TWO BED	97.34 m ²	68	53%
TWO BED	98.41 m ²	15	12%
TWO BED	111.43 m ²	7	5%
Grand Total:		128	100%

PARKING INFORMATION

Type	Provided	Surface	Garage	Location
ACCESSIBLE WITH AISLE	6	4	2	
EV CHARGING	8	4	4	
STANDARD	153	79	74	
TOTAL SITE PARKING	167	87	80	

BIKE PARKING BREAKDOWN

Level	Total
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Parking Level 1	35
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STORAGE LOCKER BREAKDOWN

Level	Total
Parking Level 1	37
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					<p>GENERAL DISCLAIMER</p> <p>1. ALL CONSTRUCTION TO MEET THE CURRENT REQUIREMENTS OF THE ONTARIO BUILDING CODE AND ZONING BY-LAWS.</p> <p>2. CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS, ASSEMBLIES, AND TAGS PRIOR TO CONSTRUCTION. DO NOT SCALE THE DRAWINGS. REPORT ANY DISCREPANCIES TO THE ARCHITECT.</p> <p>3. THIS DRAWING TO BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATIONS, ARCHITECTURAL, STRUCTURAL, CIVIL, MECHANICAL, ELECTRICAL, GEOTECHNICAL REPORT(S) & ENVIRONMENTAL REPORT(S).</p> <p>4. ARCHITECTURAL DRAWINGS SHALL NOT BE REPRODUCED WITHOUT CONSENT FROM THE ARCHITECT.</p>	<p>PROJECT EAST COURT RESIDENCE APARTMENTS</p> <p>ADDRESS 14th AVENUE EAST, OWEN SOUND, ON</p> <p>CLIENT FAST TRACK MODULAR PRECAST</p>	<p>SHEET NAME BELOW GRADE SITE PLAN</p> <p>SCALE 1:300</p>	<p>SHEET SIZE 24"x36"</p> <p>ISSUE DATE 2026-04-08</p> <p>PROJECT # POT/A26-04</p> <p>DRAWN BY PDTA</p> <p>CHECKED BY PDTA</p> <p>.A.004.</p>

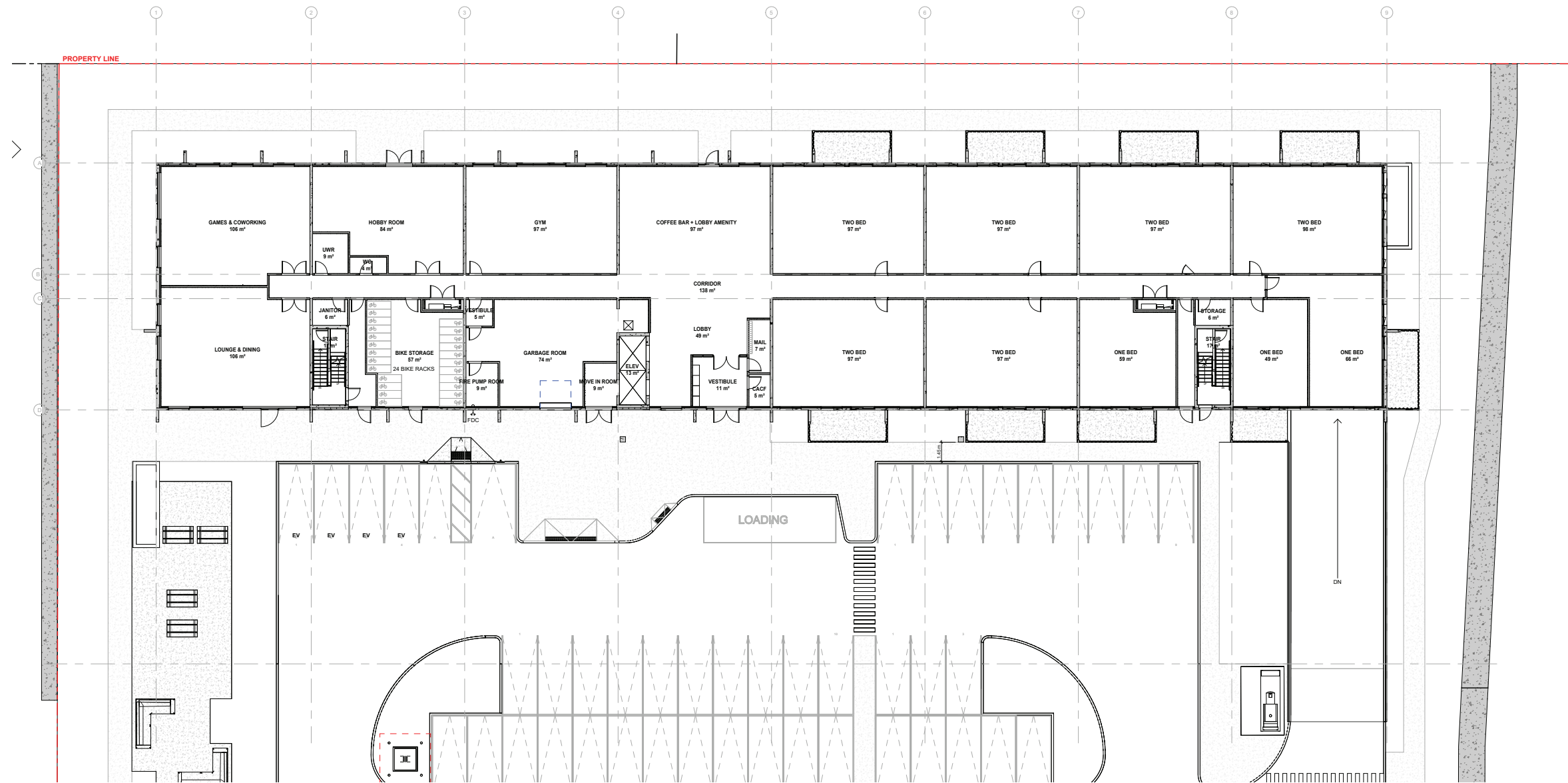
Figure:

4

BELOW GRADE SITE PLAN

Site Location: 1111 15th Avenue East, Owen Sound, ON





AREA SCHEDULE - LEVEL 1

Unit	Area	Count	Count Ratio
ONE BED			
524 SF	49 m²	1	11%
639 SF	59 m²	1	11%
715 SF	66 m²	1	11%
		3	33%
TWO BED			
1,048 SF	97 m²	5	56%
1,059 SF	98 m²	1	11%
		6	67%
Grand Total:		9	100%

<p>PATRICK DAVID TROTHER ARCHITECT</p> <p>360 SPADINA AVE., SUITE 400, OWEN SOUND, ONTARIO N4Y 2E9 T: 519 424 2183 P: 519 424 2183</p>	<p>ONTARIO ASSOCIATION OF ARCHITECTS</p> <p>PATRICK DAVID TROTHER LICENSE 18270</p>	<p>CLIENT ANDPET REALTY</p>	<p>ASSOCIATION WITH FastTrack</p> <p>FastTrack by Stubbs's T: 519 424 2183 44 Muir Line, Hanley, ON N0E 1E0</p>	<p>ASSOCIATION WITH BIM STUDIO</p> <p>BIM Studio Inc. T: 647 309 7543 E: bim@bimstudio.ca 636 KING ST W, 3RD FLR. TORONTO, ON, M5V 1M7</p>	<p>GENERAL DISCLAIMER</p> <p>1. ALL CONSTRUCTION TO MEET THE CURRENT REQUIREMENTS OF THE ONTARIO BUILDING CODE AND ZONING BY-LAWS.</p> <p>2. CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS, ASSEMBLIES, AND TAGS PRIOR TO CONSTRUCTION. DO NOT SCALE THE DRAWINGS. REPORT ANY DISCREPANCIES TO THE ARCHITECT.</p> <p>3. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATIONS, ARCHITECTURAL, STRUCTURAL, CIVIL, MECHANICAL, ELECTRICAL, GEOTECHNICAL, ENVIRONMENTAL REPORTS.</p> <p>4. ARCHITECTURAL DRAWINGS SHALL NOT BE REPRODUCED WITHOUT CONSENT FROM THE ARCHITECT.</p>	<p>PROJECT EAST COURT RESIDENCE APARTMENTS</p> <p>ADDRESS 14th AVENUE EAST, OWEN SOUND, ON</p> <p>CLIENT FAST TRACK MODULAR PRECAST</p>	<table border="1"> <tr> <td>1</td> <td>Issued for ZBA</td> <td>2026/03/26</td> <td>BIM</td> </tr> </table>	1	Issued for ZBA	2026/03/26	BIM	<p>SHEET NAME BUILDING - GROUND FLOOR PLAN</p> <p>SCALE 1:150</p>	<p>SHEET SIZE 24" x 36"</p> <p>ISSUE DATE 2026-04-08</p> <p>PROJECT # POTA26-06</p> <p>DRAWN BY POTA</p> <p>CHECKED BY POTA</p> <p>.A.100.</p>
								1	Issued for ZBA	2026/03/26	BIM		
<p>Architectural drawing showing room layouts, dimensions, and structural elements. Includes a loading dock and various utility rooms.</p>													

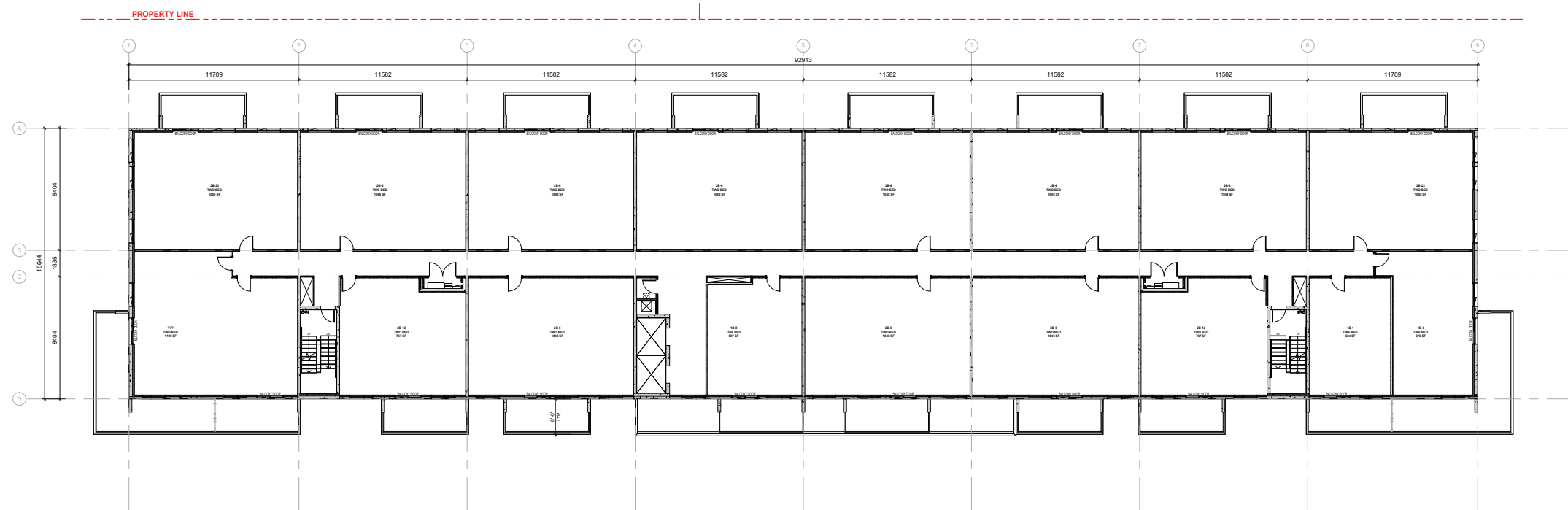
Figure:

5

BUILDING - GROUND FLOOR PLAN

Site Location: 1111 15th Avenue East, Owen Sound, ON





AREA SCHEDULE - TYP LEVEL

Unit	Area	Count	Count Ratio
ONE BED			
524	49 m ²	1	6%
587	54 m ²	1	6%
678	63 m ²	1	6%
	166 m ²	3	18%
TWO BED			
767	142 m ²	2	12%
1,048	876 m ²	9	53%
1,059	197 m ²	2	12%
1,199	115 m ²	1	6%
	1,327 m ²	14	82%
Grand Total:	1,493 m ²	17	100%

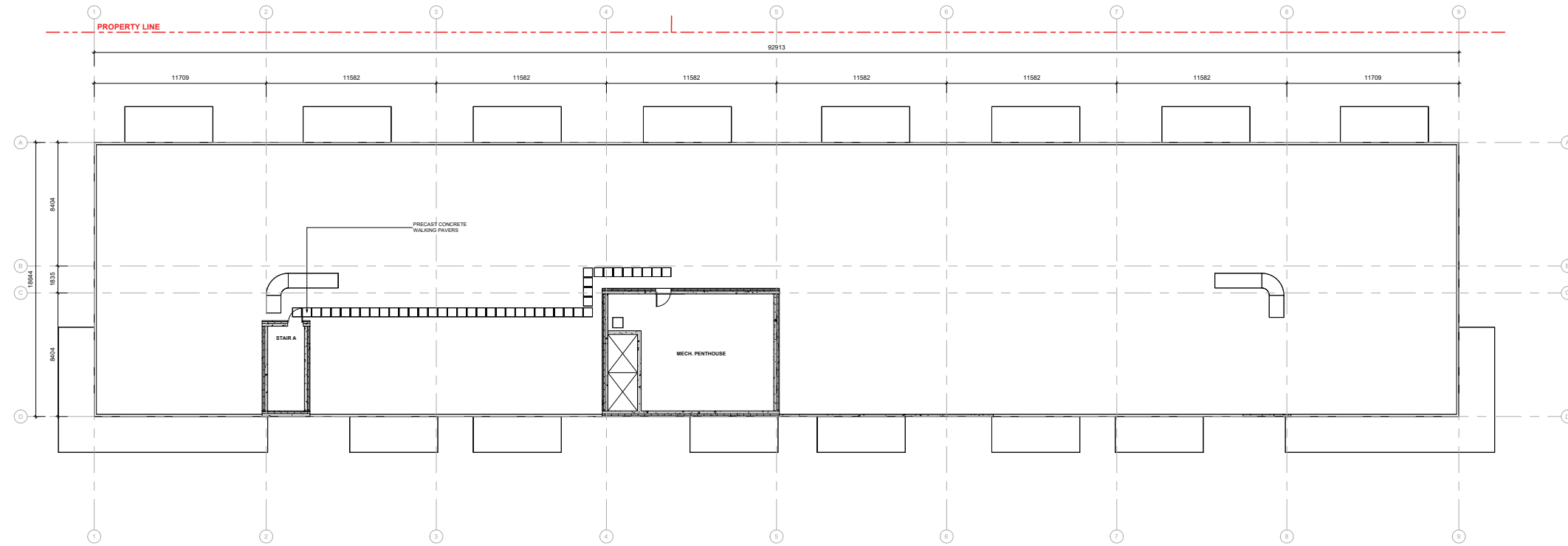
<p>385 DUFFERIN AVE. OWEN SOUND, ON N4T 4G2 519.251.5451 pdt@patrickda.com www.pdt.ca</p>	<p>PATRICK DAVID TROTHER LICENSED ARCHITECT</p>	<p>CLIENT</p>	<p>ASSOCIATION WITH</p> <p>FastTrack by Stubbe's T: 519.424.2183 44 Muir Line, Harley, ON N0E 1E0</p>	<p>BIM STUDIO INC. T: 647.309.7543 E: bim@bimstudio.ca 636 KING ST W, 3RD FLR, TORONTO, ON M5V 1M7</p>	<p>GENERAL DISCLAIMER</p> <p>1. ALL CONSTRUCTION TO MEET THE CURRENT REQUIREMENTS OF THE ONTARIO BUILDING CODE AND ZONING BY-LAWS.</p> <p>2. CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS, ASSEMBLIES, AND TAGS PRIOR TO CONSTRUCTION. DO NOT SCALE THE DRAWINGS. REPORT ANY DISCREPANCIES TO THE ARCHITECT.</p> <p>3. THIS DRAWING TO BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATIONS, ARCHITECTURAL, STRUCTURAL, CIVIL, MECHANICAL, ELECTRICAL DRAWINGS, GEOTECHNICAL REPORT(S) & ENVIRONMENTAL REPORT(S).</p> <p>4. ARCHITECTURAL DRAWINGS SHALL NOT BE REPRODUCED WITHOUT CONSENT FROM THE ARCHITECT.</p>	<p>PROJECT</p> <p>EAST COURT RESIDENCE APARTMENTS</p> <p>ADDRESS</p> <p>14th AVENUE EAST, OWEN SOUND, ON</p> <p>CLIENT</p> <p>FAST TRACK MODULAR PRECAST</p>	<p>1 Issued for ZBA</p> <p>2026/03/26 BIM</p>	<p>SHEET NAME</p> <p>BUILDING - TYPICAL FLOOR PLAN</p> <p>SCALE</p> <p>1 : 150</p>	<p>SHEET SIZE 24"x36"</p> <p>ISSUE DATE 2026-04-08</p> <p>PROJECT # POTA426-06</p> <p>DRAWN BY</p> <p>CHECKED BY POTA</p> <p>.A.101.</p>

Figure:
6

BUILDING - TYPICAL FLOOR PLAN

Site Location: 1111 15th Avenue East, Owen Sound, ON





					<p>GENERAL DISCLAIMER</p> <p>1. ALL CONSTRUCTION TO MEET THE CURRENT REQUIREMENTS OF THE ONTARIO BUILDING CODE AND ZONING BY-LAWS.</p> <p>2. CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS, ASSEMBLIES, AND TAGS PRIOR TO CONSTRUCTION. DO NOT SCALE THE DRAWINGS. REPORT ANY DISCREPANCIES TO THE ARCHITECT.</p> <p>3. THIS DRAWING TO BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATIONS, ARCHITECTURAL, STRUCTURAL, CIVIL, MECHANICAL, ELECTRICAL DRAWINGS, GEOTECHNICAL REPORT(S) & ENVIRONMENTAL REPORT(S).</p> <p>4. ARCHITECTURAL DRAWINGS SHALL NOT BE REPRODUCED WITHOUT CONSENT FROM THE ARCHITECT.</p>	<p>PROJECT</p> <p>EAST COURT RESIDENCE APARTMENTS</p> <p>ADDRESS</p> <p>14th AVENUE EAST, OWEN SOUND, ON</p> <p>CLIENT</p> <p>FAST TRACK MODULAR PRECAST</p>	<p>1 Issued for ZBA</p>	<p>2026/03/26</p>	<p>BIM</p>	<p>SHEET NAME</p> <p>BUILDING - ROOF PLAN</p>	<p>SHEET SIZE</p> <p>24" x 36"</p> <p>ISSUE DATE</p> <p>2026-04-08</p> <p>PROJECT #</p> <p>POTAR26-06</p> <p>DRAWN BY</p> <p>POTA</p> <p>CHECKED BY</p> <p>POTA</p>	
							<p>SCALE</p> <p>1 : 150</p>	<p>.A.102.</p>				

Figure:

7

BUILDING - ROOF PLAN

Site Location: 1111 15th Avenue East, Owen Sound, ON





1 BUILDING ELEVATION - SOUTH
A.400 1:200



3 BUILDING ELEVATION EAST
A.400 1:200



2 BUILDING ELEVATION NORTH
A.400 1:200



4 BUILDING ELEVATION - WEST
A.400 1:200

LEGEND	
[Light Grey Box]	BEIGE - WOOD PLANK
[Medium Grey Box]	TEXTURED PAINTED PRECAST CONCRETE - MEDIUM GREY PAINTED
[Dark Grey Box]	TEXTURED PAINTED PRECAST CONCRETE - DARK GREY PAINTED
[White Box]	STUBBIE - PRECAST PANEL - WHITE

<p>PATRICK DAVID TROVATI ARCHITECT</p> <p>3813 FERRIS RD, SUITE 101, OWEN SOUND, ON N4L 1G7 TEL: 519-424-2183</p>	<p>ONTARIO ASSOCIATION OF ARCHITECTS</p> <p>PATRICK DAVID TROVATI LICENCE 62978</p>	<p>CLIENT</p> <p>ANDPET REALTY</p>	<p>ASSOCIATION WITH</p> <p>FastTrack BY STUBBIE</p> <p>FastTrack by Stubbie's T: 519 424 2183 44 Main Line, Hurley, ON N0E 1E0</p>	<p>BIM STUDIO</p> <p>DESIGN + VIRTUAL WORLD BIMStudio Inc. T: 416 209 7443 E: bim@bimstudio.ca 638 KING ST W. 3RD FL. TORONTO, ON, M5V 1M7</p>	<p>GENERAL DISCLAIMER</p> <p>1. ALL CONSTRUCTION TO MEET THE CURRENT REQUIREMENTS OF THE ONTARIO BUILDING CODE AND ZONING BY-LAWS.</p> <p>2. CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS, ASSEMBLIES, AND TAGS PRIOR TO CONSTRUCTION. DO NOT SCALE THE DRAWINGS. REPORT ANY DISCREPANCIES TO THE ARCHITECT.</p> <p>3. THIS DRAWING TO BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATIONS, ARCHITECTURAL, STRUCTURAL, CIVIL, MECHANICAL, ELECTRICAL, DRAWINGS, GEOTECHNICAL REPORTS & ENVIRONMENTAL REPORTS.</p> <p>4. ARCHITECTURAL DRAWINGS SHALL NOT BE REPRODUCED WITHOUT CONSENT FROM THE ARCHITECT.</p>	<p>PROJECT</p> <p>EAST COURT RESIDENCE APARTMENTS</p> <p>1 Issued for ZBA 2026/03/26 BIM</p> <p>ADDRESS</p> <p>14th AVENUE EAST, OWEN SOUND, ON</p> <p>CLIENT</p> <p>FAST TRACK MODULAR PRECAST</p>	<p>SHEET NAME</p> <p>BUILDING ELEVATIONS</p> <p>SCALE</p> <p>As Indicated</p>	<p>SHEET SIZE 24"x36"</p> <p>ISSUE DATE 2026-04-06</p> <p>PROJECT # P07A026-06</p> <p>DRAWN BY PDTA</p> <p>CHECKED BY PDTA</p> <p>.A.400.</p>
								<p>1:200</p>

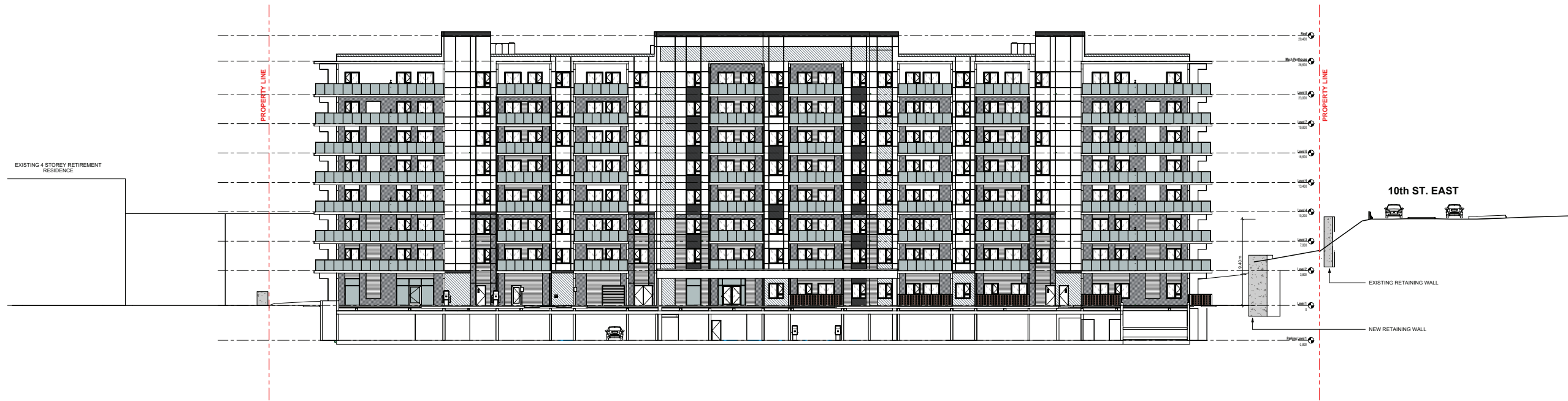
Figure:

8

BUILDING ELEVATIONS

Site Location: 1111 15th Avenue East, Owen Sound, ON





<p>380 DUFFERIN AVE. SUITE 402 TORONTO, ONT. M5T 1A5</p>	<p>PATRICK DAVID TROTTER LICENSE 5270</p>	<p>CLIENT</p>	<p>ASSOCIATION WITH</p> <p>FastTrack by Stubbs T: 519 424 2183 44 Main Line, Hanley, ON N0E 1E0</p>	<p>DESIGN + VIRTUAL BUILD BIMstudio Inc. T: 647 309 7543 E: bim@bimstudio.ca 636 KING ST W, 3RD FLR. TORONTO, ON, M5V 1M7</p>	<p>GENERAL DISCLAIMER</p> <p>1. ALL CONSTRUCTION TO MEET THE CURRENT REQUIREMENTS OF THE ONTARIO BUILDING CODE AND ZONING BY-LAWS.</p> <p>2. CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS, ASSEMBLIES, AND TAGS PRIOR TO CONSTRUCTION. DO NOT SCALE THE DRAWINGS. REPORT ANY DISCREPANCIES TO THE ARCHITECT.</p> <p>3. THIS DRAWING TO BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATIONS, ARCHITECTURAL, STRUCTURAL, CIVIL, MECHANICAL, ELECTRICAL, DRAWINGS, GEOTECHNICAL REPORT(S) & ENVIRONMENTAL REPORT(S).</p> <p>4. ARCHITECTURAL DRAWINGS SHALL NOT BE REPRODUCED WITHOUT CONSENT FROM THE ARCHITECT.</p>	<p>PROJECT</p> <p>EAST COURT RESIDENCE APARTMENTS</p> <p>ISSUED FOR ZBA: 2028/03/28 BIM</p> <p>ADDRESS</p> <p>14th AVENUE EAST, OWEN SOUND, ON</p> <p>CLIENT</p> <p>FAST TRACK MODULAR PRECAST</p>	<p>SHEET NAME</p> <p>SITE SECTION</p> <p>SCALE</p> <p>1 : 200</p>	<p>SHEET SIZE 24"x36"</p> <p>ISSUE DATE: 2028-04-08</p> <p>PROJECT # POTA828-06</p> <p>DRAWN BY PDTA</p> <p>CHECKED BY PDTA</p> <p>.A.402.</p>
		<p>CLIENT</p>	<p>ASSOCIATION WITH</p> <p>FastTrack by Stubbs T: 519 424 2183 44 Main Line, Hanley, ON N0E 1E0</p>	<p>DESIGN + VIRTUAL BUILD BIMstudio Inc. T: 647 309 7543 E: bim@bimstudio.ca 636 KING ST W, 3RD FLR. TORONTO, ON, M5V 1M7</p>	<p>GENERAL DISCLAIMER</p> <p>1. ALL CONSTRUCTION TO MEET THE CURRENT REQUIREMENTS OF THE ONTARIO BUILDING CODE AND ZONING BY-LAWS.</p> <p>2. CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS, ASSEMBLIES, AND TAGS PRIOR TO CONSTRUCTION. DO NOT SCALE THE DRAWINGS. REPORT ANY DISCREPANCIES TO THE ARCHITECT.</p> <p>3. THIS DRAWING TO BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATIONS, ARCHITECTURAL, STRUCTURAL, CIVIL, MECHANICAL, ELECTRICAL, DRAWINGS, GEOTECHNICAL REPORT(S) & ENVIRONMENTAL REPORT(S).</p> <p>4. ARCHITECTURAL DRAWINGS SHALL NOT BE REPRODUCED WITHOUT CONSENT FROM THE ARCHITECT.</p>	<p>PROJECT</p> <p>EAST COURT RESIDENCE APARTMENTS</p> <p>ISSUED FOR ZBA: 2028/03/28 BIM</p> <p>ADDRESS</p> <p>14th AVENUE EAST, OWEN SOUND, ON</p> <p>CLIENT</p> <p>FAST TRACK MODULAR PRECAST</p>	<p>SHEET NAME</p> <p>SITE SECTION</p> <p>SCALE</p> <p>1 : 200</p>	<p>SHEET SIZE 24"x36"</p> <p>ISSUE DATE: 2028-04-08</p> <p>PROJECT # POTA828-06</p> <p>DRAWN BY PDTA</p> <p>CHECKED BY PDTA</p> <p>.A.402.</p>

Figure:

9

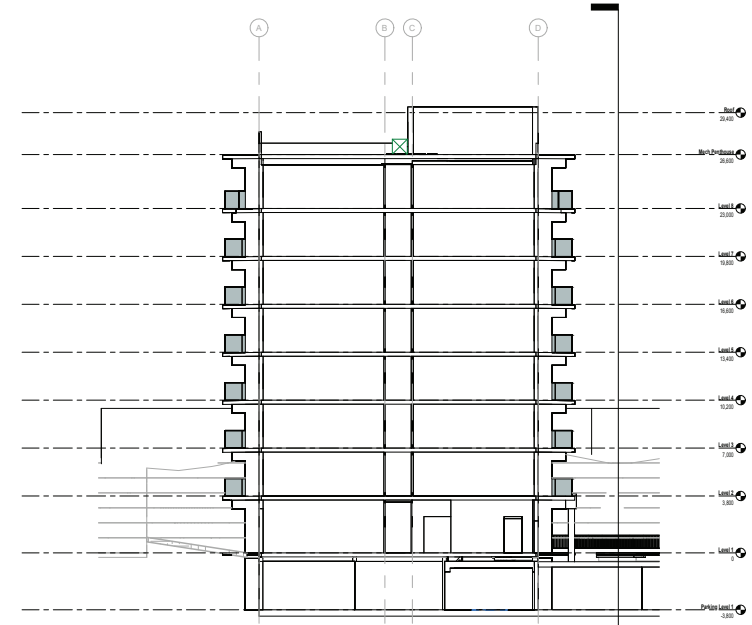
SITE SECTION

Site Location: 1111 15th Avenue East, Owen Sound, ON





1 LONGITUDINAL
A.403 1:200



2 TRANSVERSE
A.403 1:200

					<p>GENERAL DISCLAIMER</p> <p>1. ALL CONSTRUCTION TO MEET THE CURRENT REQUIREMENTS OF THE ONTARIO BUILDING CODE AND ZONING BY-LAWS.</p> <p>2. CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS, ASSEMBLIES, AND TAGS PRIOR TO CONSTRUCTION. DO NOT SCALE THE DRAWINGS. REPORT ANY DISCREPANCIES TO THE ARCHITECT.</p> <p>3. THIS DRAWING TO BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATIONS, ARCHITECTURAL, STRUCTURAL, CIVIL, MECHANICAL, ELECTRICAL DRAWINGS, GEOTECHNICAL REPORT(S) & ENVIRONMENTAL REPORT(S).</p> <p>4. ARCHITECTURAL DRAWINGS SHALL NOT BE REPRODUCED WITHOUT CONSENT FROM THE ARCHITECT.</p>	<p>PROJECT</p> <p>EAST COURT RESIDENCE APARTMENTS</p> <p>ADDRESS</p> <p>14th AVENUE EAST, OWEN SOUND, ON</p> <p>CLIENT</p> <p>FAST TRACK MODULAR PRECAST</p>	<table border="1"> <tr> <td>1</td> <td>Issued for ZBA</td> <td>2026/03/26</td> <td>BIM</td> </tr> </table>	1	Issued for ZBA	2026/03/26	BIM	<p>SHEET NAME</p> <p>BUILDING SECTIONS</p> <p>SCALE</p> <p>1:200</p>	<p>SHEET SIZE 24"x36"</p> <p>ISSUE DATE 2026-04-08</p> <p>PROJECT # POT1426-06</p> <p>DRAWN BY POTA</p> <p>CHECKED BY POTA</p> <p>.A.403.</p>
								1	Issued for ZBA	2026/03/26	BIM		
<p>CLIENT</p> <p>FastTrack by Stubbs</p> <p>T: 519 424 2183 44 Main Line, Hanley, ON N0E 1E0</p>	<p>ASSOCIATION WITH</p> <p>BIM STUDIO</p> <p>DESIGN & VISUALIZATION BY BIMstudio Inc. T: 647 309 7543 E: bim@bimstudio.ca 636 KING ST W, 3RD FLR TORONTO, ON, M5V 1M7</p>												

Figure:
10

BUILDING SECTIONS

Site Location: 1111 15th Avenue East, Owen Sound, ON





1 MAIN ENTRANCE MATERIAL BOARD
A.404 1:150

LEGEND	
	PRECAST RUNNING BOND BRICK VENEER - DARK GREY
	PRECAST RUNNING BOND BRICK VENEER - LIGHT GREY
	PRECAST HORIZONTAL BOARD VENEER - DARK GREY
	PRECAST WOOD TEXTURED FORMLINER

 PATRICK DAVID TROTHER ARCHITECTS 383 BURNHAMTHORPE, BRAMPTON, ON N6T 4E2 22.226.1945; pat@patrickdavidtrothier.com	 ONTARIO ASSOCIATION OF ARCHITECTS PATRICK DAVID TROTHER LICENSE 6279	 ANDPET REALTY	 FastTrack by Stubbe's 44 Mar Line, Hurley, ON N0E 1E0	 DESIGN + VIRTUAL BUILD BIMStudio Inc. T: 647.389.7543 E: bim@bimstudio.ca 636 KING ST W, 3RD FLR, TORONTO, ON, M5V 1M7	GENERAL DISCLAIMER 1. ALL CONSTRUCTION TO MEET THE CURRENT REQUIREMENTS OF THE ONTARIO BUILDING CODE AND ZONING BY-LAWS. 2. CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS, ASSEMBLIES, AND TAGS PRIOR TO CONSTRUCTION. DO NOT SCALE THE DRAWINGS. REPORT ANY DISCREPANCIES TO THE ARCHITECT. 3. THIS DRAWING TO BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATIONS, ARCHITECTURAL, STRUCTURAL, CIVIL, MECHANICAL, ELECTRICAL DRAWINGS, GEOTECHNICAL REPORT(S) & ENVIRONMENTAL REPORT(S). 4. ARCHITECTURAL DRAWINGS SHALL NOT BE REPRODUCED WITHOUT CONSENT FROM THE ARCHITECT.	PROJECT EAST COURT RESIDENCE APARTMENTS ADDRESS 14th AVENUE EAST, OWEN SOUND, ON CLIENT FAST TRACK MODULAR PRECAST	1 Issued for ZBA 2026/03/26 BIM	SHEET NAME EXTERIOR MATERIALS - BUILDING ENTRANCE SCALE As Indicated	SHEET SIZE 24"x36" ISSUE DATE 2026-04-08 PROJECT # POTA26-06 DRAWN BY POTA CHECKED BY POTA .A.404.

Figure:

11

EXTERIOR MATERIALS - BUILDING ENTRANCE

Site Location: 1111 15th Avenue East, Owen Sound, ON





BACKGROUND CONTEXT IMAGERY © GOOGLE, 2024.
FOR ILLUSTRATIVE PURPOSES ONLY

 285 DUFFERIN AVE, BRANTFORD, ON N6T 4E2 226.238.1943; pdt@pyrickdavidtrotter.com; www.pyrickdavidtrotter.com	 PATRICK DAVID TROTTER LICENCE 6270	CLIENT  ANDPET REALTY	ASSOCIATION WITH  FastTrack by Stubbe's T: 519 424 2183 44 Muir Line, Hanley, ON N0E 1E0	 DESIGN + VIRTUAL BUILD BIMstudio Inc. T: 647 309 7543 E: bim@bimstudio.ca 639 KING ST W., 3RD FLR, TORONTO, ON, M5V 1M7	GENERAL DISCLAIMER 1. ALL CONSTRUCTION TO MEET THE CURRENT REQUIREMENTS OF THE ONTARIO BUILDING CODE AND ZONING BY-LAWS. 2. CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS, ASSEMBLIES AND TAGS PRIOR TO CONSTRUCTION. DO NOT SCALE THE DRAWINGS. REPORT ANY DISCREPANCIES TO THE ARCHITECT. 3. THIS DRAWING TO BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATIONS, ARCHITECTURAL, STRUCTURAL, CIVIL, MECHANICAL, ELECTRICAL DRAWINGS, GEOTECHNICAL REPORT(S) & ENVIRONMENTAL REPORT(S). 4. ARCHITECTURAL DRAWINGS SHALL NOT BE REPRODUCED WITHOUT CONSENT FROM THE ARCHITECT.	PROJECT EAST COURT RESIDENCE APARTMENTS ADDRESS 14th AVENUE EAST, OWEN SOUND, ON CLIENT FAST TRACK MODULAR PRECAST	1 Issued for ZBA 2025/03/26 BIM	SHEET NAME VIEW FROM 10TH ST EAST RENDERING	SHEET SIZE 24"x36" ISSUE DATE 2025-04-08 PROJECT # POTA#26-06 DRAWN BY CHECKED BY POTA
							.A.800.		

Figure:

12

VIEW FROM 10TH ST EAST RENDERING

Site Location: 1111 15th Avenue East, Owen Sound, ON



<p>PATRICK DAVID TROTTER ARCHITECT</p> <p>263 LAFFERTY BLVD, BRANTFORD, ON N7C 6Z2 226.268.1143; pdt@patrickdavidtrotter.ca</p>	<p>ONTARIO ASSOCIATION OF ARCHITECTS PATRICK DAVID TROTTER LICENSE 6270</p>	<p>CLIENT</p> <p>ANDPET REALTY</p>	<p>ASSOCIATION WITH</p> <p>FastTrack by Stubb's T: 519 624 2183 44 Muir Line, Hawley, ON N0E 1E0</p>	<p>DESIGN + VIRTUAL BUILD BIMstudio Inc. T: 647 309 7543 E: bim@bimstudio.ca 636 KING ST W, 3RD FLR, TORONTO, ON, M5V 1M7</p>	<p>GENERAL DISCLAIMER</p> <p>1. ALL CONSTRUCTION TO MEET THE CURRENT REQUIREMENTS OF THE ONTARIO BUILDING CODE AND ZONING BY-LAWS.</p> <p>2. CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS, ASSEMBLIES, AND TAGS PRIOR TO CONSTRUCTION. DO NOT SCALE THE DRAWINGS. REPORT ANY DISCREPANCIES TO THE ARCHITECT.</p>	<p>3. THIS DRAWING TO BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATIONS, ARCHITECTURAL, STRUCTURAL, CIVIL, MECHANICAL, ELECTRICAL DRAWINGS, GEOTECHNICAL REPORT(S) & ENVIRONMENTAL REPORT(S).</p> <p>4. ARCHITECTURAL DRAWINGS SHALL NOT BE REPRODUCED WITHOUT CONSENT FROM THE ARCHITECT.</p>	<p>PROJECT</p> <p>EAST COURT RESIDENCE APARTMENTS</p> <p>ADDRESS</p> <p>14th AVENUE EAST, OWEN SOUND, ON</p> <p>CLIENT</p> <p>FAST TRACK MODULAR PRECAST</p>	<table border="1"> <tr> <td>1</td> <td>Issued for ZBA</td> <td>2026/03/26</td> <td>BIM</td> </tr> </table>	1	Issued for ZBA	2026/03/26	BIM	<p>SHEET NAME</p> <p>NORTH WEST RENDERING</p>	<p>SHEET SIZE 24"x36"</p> <p>ISSUE DATE 2026-04-08</p> <p>PROJECT # POTAR26-06</p> <p>DRAWN BY PDTA</p> <p>CHECKED BY PDTA</p> <p>.A.801.</p>
1	Issued for ZBA	2026/03/26	BIM											

Figure:

13

NORTH WEST RENDERING

Site Location: 1111 15th Avenue East, Owen Sound, ON





<p>39 DUFFERIN AVE. SUITE 100, ONTARIO, ONTARIO 226.28.1943; pat@patrickdavidtrotter.com</p>	<p>PATRICK DAVID TROTTER LICENSE 6270</p>	<p>CLIENT</p>	<p>ASSOCIATION WITH</p> <p>FastTrack by Stubbs T: 519 424 2183 44 Muir Line, Hawley, ON N0E 1E0</p>	<p>DESIGN + VIRTUAL BUILD BIMStudio Inc. T: 647 309 7543 E: bim@bimstudio.ca 636 KING ST W. 3RD FLR. TORONTO, ON, M5V 1M7</p>	<p>GENERAL DISCLAIMER</p> <p>1. ALL CONSTRUCTION TO MEET THE CURRENT REQUIREMENTS OF THE ONTARIO BUILDING CODE AND ZONING BY-LAWS.</p> <p>2. CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS, ASSEMBLIES, AND TAGS PRIOR TO CONSTRUCTION. DO NOT SCALE THE DRAWINGS. REPORT ANY DISCREPANCIES TO THE ARCHITECT.</p> <p>3. THIS DRAWING TO BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATIONS, ARCHITECTURAL, STRUCTURAL, CIVIL, MECHANICAL, ELECTRICAL DRAWINGS, GEOTECHNICAL REPORT(S) & ENVIRONMENTAL REPORT(S).</p> <p>4. ARCHITECTURAL DRAWINGS SHALL NOT BE REPRODUCED WITHOUT CONSENT FROM THE ARCHITECT.</p>	<p>PROJECT</p> <p>EAST COURT RESIDENCE APARTMENTS</p> <p>ADDRESS</p> <p>14th AVENUE EAST, OWEN SOUND, ON</p> <p>CLIENT</p> <p>FAST TRACK MODULAR PRECAST</p>	<table border="1"> <tr> <td>1</td> <td>Issued for ZBA</td> <td>2026/03/26</td> <td>BIM</td> </tr> </table>	1	Issued for ZBA	2026/03/26	BIM	<p>SHEET NAME</p> <p>WEST RENDERING</p>	<p>SHEET SIZE 24"x36"</p> <p>ISSUE DATE 2026-04-08</p> <p>PROJECT # POTAN26-06</p> <p>DRAWN BY</p> <p>CHECKED BY PDTA</p> <p>.A.802.</p>
							1	Issued for ZBA	2026/03/26	BIM			

Figure:

14

WEST RENDERING

Site Location: 1111 15th Avenue East, Owen Sound, ON





		<p>CLIENT</p>	<p>ASSOCIATION WITH</p>		<p>GENERAL DISCLAIMER</p> <p>1. ALL CONSTRUCTION TO MEET THE CURRENT REQUIREMENTS OF THE ONTARIO BUILDING CODE AND ZONING BY-LAWS.</p> <p>2. CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS, ASSEMBLIES, AND TAGS PRIOR TO CONSTRUCTION. DO NOT SCALE THE DRAWINGS. REPORT ANY DISCREPANCIES TO THE ARCHITECT.</p> <p>3. THIS DRAWING TO BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATIONS, ARCHITECTURAL, STRUCTURAL, CIVIL, MECHANICAL, ELECTRICAL DRAWINGS, GEOTECHNICAL REPORT(S) & ENVIRONMENTAL REPORT(S).</p> <p>4. ARCHITECTURAL DRAWINGS SHALL NOT BE REPRODUCED WITHOUT CONSENT FROM THE ARCHITECT.</p>	<p>PROJECT</p> <p>EAST COURT RESIDENCE APARTMENTS</p> <p>ADDRESS</p> <p>14th AVENUE EAST, OWEN SOUND, ON</p> <p>CLIENT</p> <p>FAST TRACK MODULAR PRECAST</p>	<table border="1"> <tr> <td>1</td> <td>Issued for ZBA</td> <td>2026/03/26</td> <td>BIM</td> </tr> </table>	1	Issued for ZBA	2026/03/26	BIM	<p>SHEET NAME</p> <p>SOUTH EAST RENDERING</p>	<p>SHEET SIZE 24"x36"</p> <p>ISSUE DATE 2026-04-08</p> <p>PROJECT # POTA826-06</p> <p>DRAWN BY</p> <p>CHECKED BY POTA</p> <p>.A.803.</p>
1	Issued for ZBA	2026/03/26	BIM										

Figure:

15

SOUTH EAST RENDERING

Site Location: 1111 15th Avenue East, Owen Sound, ON





1 SOUTH - EAST
A.805.



3 NORTH - WEST
A.805.



2 NORTH - EAST
A.805.



4 SOUTH - WEST
A.805.

					<p>GENERAL DISCLAIMER</p> <p>1. ALL CONSTRUCTION TO MEET THE CURRENT REQUIREMENTS OF THE ONTARIO BUILDING CODE AND ZONING BY-LAWS.</p> <p>2. CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS, ASSEMBLIES, AND TAGS PRIOR TO CONSTRUCTION. DO NOT SCALE THE DRAWINGS. REPORT ANY DISCREPANCIES TO THE ARCHITECT.</p> <p>3. THIS DRAWING TO BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATIONS, ARCHITECTURAL, STRUCTURAL, CIVIL, MECHANICAL, ELECTRICAL DRAWINGS, GEOTECHNICAL REPORT(S) & ENVIRONMENTAL REPORT(S).</p> <p>4. ARCHITECTURAL DRAWINGS SHALL NOT BE REPRODUCED WITHOUT CONSENT FROM THE ARCHITECT.</p>	<p>PROJECT</p> <p>EAST COURT RESIDENCE APARTMENTS</p> <p>ADDRESS</p> <p>14th AVENUE EAST, OWEN SOUND, ON</p> <p>CLIENT</p> <p>FAST TRACK MODULAR PRECAST</p>	<p>1 Issued for ZBA</p>	<p>2026/03/26</p>	<p>BIM</p>	<p>SHEET NAME</p> <p>ISOMETRIC VIEWS</p>	<p>SHEET SIZE 24"x36"</p> <p>ISSUE DATE 2026-04-08</p> <p>PROJECT # PD2A26-06</p> <p>DRAWN BY PDTA</p> <p>CHECKED BY PDTA</p>
							<p>.A.805.</p>				

Figure:

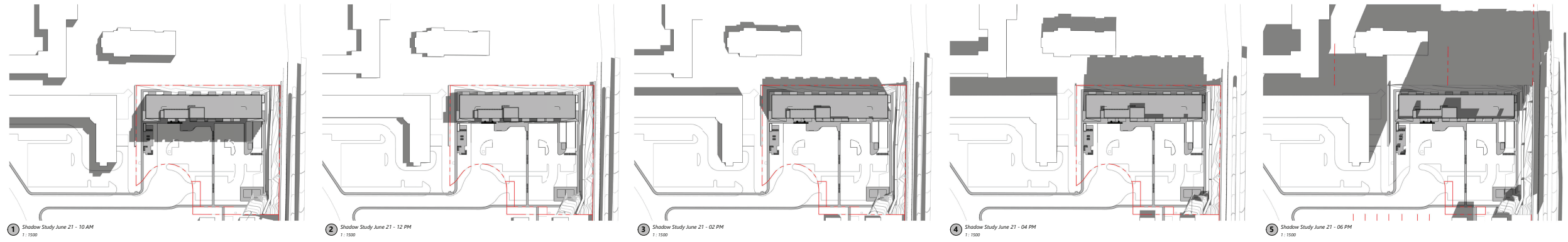
16

ISOMETRIC VIEWS

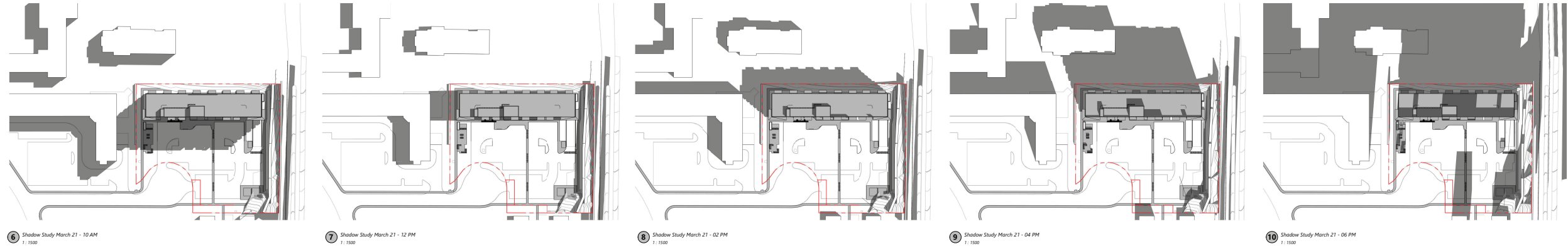
Site Location: 1111 15th Avenue East, Owen Sound, ON



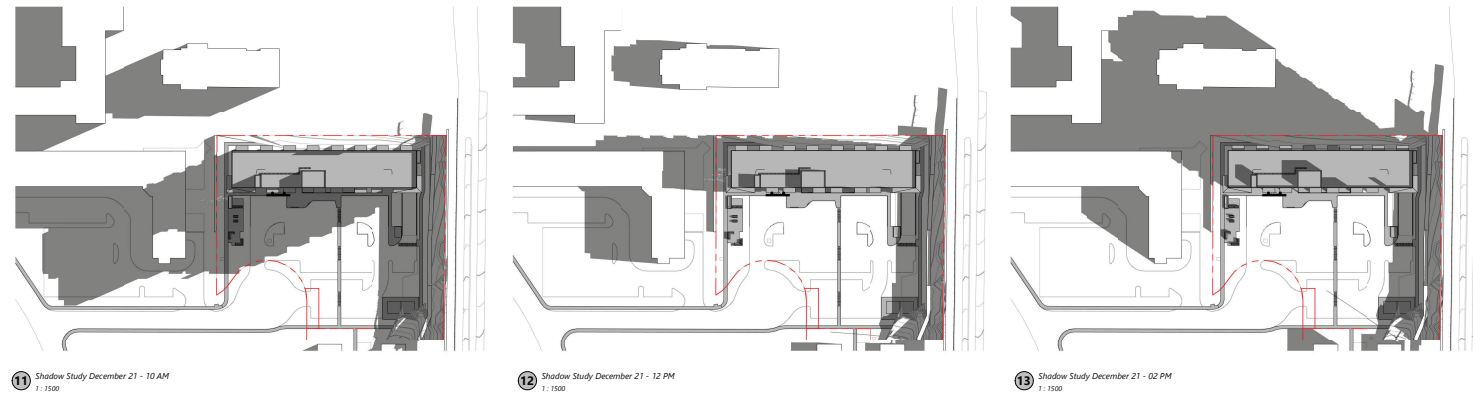
SUMMER SOLSTICE



SPRING & FALL EQUINOX



WINTER SOLSTICE



					<p>GENERAL DISCLAIMER</p> <p>1. ALL CONSTRUCTION TO MEET THE CURRENT REQUIREMENTS OF THE ONTARIO BUILDING CODE AND ZONING BY-LAWS.</p> <p>2. CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS, ASSEMBLES, AND TAGS PRIOR TO CONSTRUCTION. DO NOT SCALE THE DRAWINGS. REPORT ANY DISCREPANCIES TO THE ARCHITECT.</p> <p>3. THIS DRAWING TO BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATIONS, ARCHITECTURAL, STRUCTURAL, CIVIL, MECHANICAL, ELECTRICAL, GEOTECHNICAL REPORT(S) & ENVIRONMENTAL REPORT(S).</p> <p>4. ARCHITECTURAL DRAWINGS SHALL NOT BE REPRODUCED WITHOUT CONSENT FROM THE ARCHITECT.</p>	<p>PROJECT EAST COURT RESIDENCE APARTMENTS</p> <p>ADDRESS 14th AVENUE EAST, OWEN SOUND, ON</p> <p>CLIENT FAST TRACK MODULAR PRECAST</p>	<p>SHEET NAME SHADOW STUDY</p>	<p>SHEET SIZE: 24" x 36"</p> <p>ISSUE DATE: 2026-04-08</p> <p>PROJECT #: POTA26-06</p> <p>DRAWN BY: POTA</p> <p>CHECKED BY: POTA</p>
								<p>1. Issued for ZBA: 2026/03/26 BIM</p>

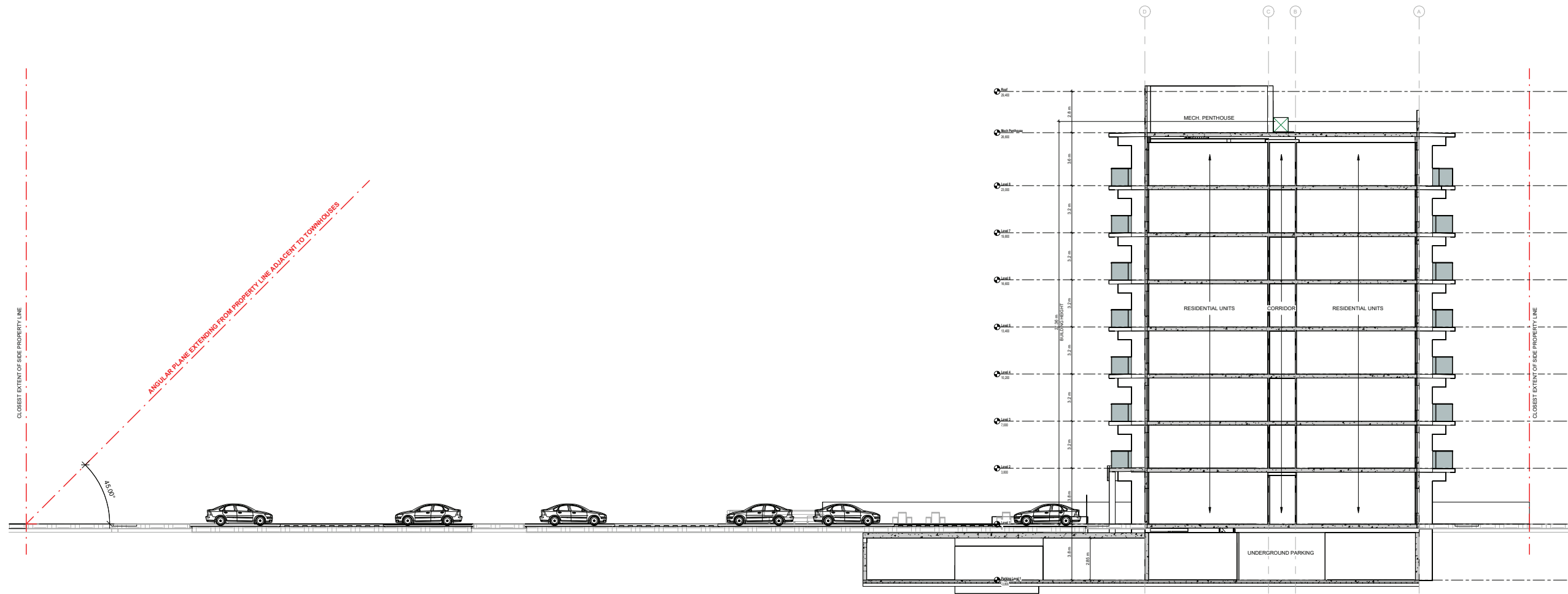
Figure:

17

SHADOW STUDY

Site Location: 1111 15th Avenue East, Owen Sound, ON





<p>3033 FERRIS AVE. BRANTFORD, ON N7G 6Z2 25.258-1543, pat@patrickdavidtrotter.ca, www.patrickdavidtrotter.ca</p>	<p>PATRICK DAVID TROTTER ARCHITECTS LICENCE 6270</p>	<p>CLIENT</p>	<p>ASSOCIATION WITH</p> <p>FastTrack by Stubbs T: 519 424 2183 44 Maj Line, Harley, ON N0E 1E0</p>	<p>DESIGN + VIRTUAL BUILD BIMStudio Inc. T: 647 309 7543 E: bim@bimstudio.ca 636 KING ST W, 3RD FLR TORONTO, ON, M5V 1M7</p>	<p>GENERAL DISCLAIMER</p> <p>1. ALL CONSTRUCTION TO MEET THE CURRENT REQUIREMENTS OF THE ONTARIO BUILDING CODE AND ZONING BY-LAWS.</p> <p>2. CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS, ASSEMBLIES, AND TAGS PRIOR TO CONSTRUCTION. DO NOT SCALE THE DRAWINGS. REPORT ANY DISCREPANCIES TO THE ARCHITECT.</p> <p>3. THIS DRAWING TO BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATIONS, ARCHITECTURAL, STRUCTURAL, CIVIL, MECHANICAL, ELECTRICAL DRAWINGS, GEOTECHNICAL REPORT(S) & ENVIRONMENTAL REPORT(S).</p> <p>4. ARCHITECTURAL DRAWINGS SHALL NOT BE REPRODUCED WITHOUT CONSENT FROM THE ARCHITECT.</p>	<p>PROJECT</p> <p>EAST COURT RESIDENCE APARTMENTS</p> <p>ADDRESS</p> <p>14th AVENUE EAST, OWEN SOUND, ON</p> <p>CLIENT</p> <p>FAST TRACK MODULAR PRECAST</p>	<table border="1"> <tr> <td>1</td> <td>Issued for ZBA</td> <td>2026/03/26</td> <td>BIM</td> </tr> </table>	1	Issued for ZBA	2026/03/26	BIM	<p>SHEET NAME</p> <p>ANGULAR PLANE STUDY</p> <p>SCALE</p> <p>1 : 125</p>	<p>SHEET SIZE 24"x36"</p> <p>ISSUE DATE 2026-04-08</p> <p>PROJECT # POTA26-06</p> <p>DRAWN BY PDTA</p> <p>CHECKED BY PDTA</p> <p>.A.807</p>
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Figure:

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ANGULAR PLANE STUDY

Site Location: 1111 15th Avenue East, Owen Sound, ON



Massing and Architectural Design

The proposed building elevations provide for clean, rectilinear massing with:

- A combination of precast concrete panels in white, medium grey, and dark grey.
- Wood-plank beige accents to soften the façade and introduce warmth.
- Regularized window patterns and stacked balconies on multiple elevations.
- A modest mechanical penthouse is screened within the upper massing.

Unit Mix and Residential Program

The building contains 128 units, with a strong emphasis on two-bedroom suites, making the project suitable for older adults. The unit sizes are as follows:

- 24 One-bedroom units: from 48 to 66 square metres
- 103 Two-bedroom units: from 71 to 111 square metres

The typical floor plan shows 18 units per floor, while the ground floor contains 9 units.

Amenity Areas

The Proposed Development includes intentionally designed amenity spaces to support the proposed residents. This includes interior space for active programming (e.g. woodworking), as well as outdoor recreational amenities such as pickleball. The Owner is proposing to offer these facilities and programs to those older adults living in the immediate area to provide a hub of activities and social space for this age cohort.

The amenity areas specifically include:

- Total amenity area provided: 2,765.19 square metres or 20.48 square metres per unit, which includes:
 - Outdoor amenity area on the west side of the site, including seating, fire pit, BBQ, and seating.
 - Indoor amenity spaces, including a woodworking area, scooter storage, and other shared rooms.
- Patio area of 151.87 square metres.

This level of amenity is well above typical mid-rise standards and supports a high quality of life for residents.

A conceptual landscape plan has been prepared in support of the Application and includes plantings and hardscaping across the Site to support the overall design and the amenity areas. Deciduous street trees line 15th Avenue East, while large-canopy deciduous and coniferous trees

are placed along site boundaries for screening. Landscaped parking islands include shade trees to meet municipal standards, and low shrubs, grasses, and perennials frame the building.

Thirty trees are proposed for removal, including 20 in poor or declining condition. The replanting strategy distributes new street trees, parking lot shade trees, boundary plantings, and foundation landscaping across the site. More than 40 new trees will be planted, resulting in a net increase in canopy coverage.

Parking, Bicycle Parking and Accessibility

The Proposed Development includes 172 off-street parking spaces, accommodated through a combination of surface parking and one level of underground parking. A total of 6 accessible spaces provided (3 Type A, 3 Type B) are provided. A total of 3% of the required off-street parking will have electric vehicle charging stations.

The Proposed Development also includes 64 bicycle parking spaces.

Loading, Garbage, and Servicing

Dedicated loading and garbage facilities are provided in the Proposed Development, along with an interior mail room. A drop-off area and layby is proposed at the main entrance for ease of access and deliveries.

A fire route of 6.0 metres is illustrated on the Conceptual Site Plan.

As set-out in the Plan of Subdivision, there is an existing 6.0 metre wide servicing easement and walkway on the western portion of the Site.

Site Access, Circulation, and Walkability

There are two (2) proposed vehicular entrances/exits on the Site—one on the north side and one on the south side of the site. Both accesses connect to 15th Avenue East. The internal drive aisle is a minimum of 6.0 metres wide, supporting two-way traffic.

With respect to pedestrian access and circulation, a barrier-free main entrance is located on the west façade, which is connected by a series of walkways. The private walkways connect to the municipal sidewalk on 15th Avenue East. The Conceptual Site Plan also provides for:

- Dropped curbs
- Tactile indicators
- Barrier-free signage
- Accessible charging station

These features enhance walkability and universal accessibility.

The proposed building provides a 35.98-metre front yard setback, creating a landscaped forecourt and pedestrian-friendly frontage. The Conceptual Site Plan illustrates extensive landscaping, with a total landscape open space area of 48.14%. The landscaped areas provide sufficient opportunity for snow storage.

In summation, the Proposed Development is a well-designed, mid-rise residential building that:

- Provides for rental housing geared to older adults, including affordable units.
- Exceeds amenity, parking, and bicycle parking requirements.
- Incorporates high-quality architectural materials.
- Offers generous landscaping and open space.
- Ensures safe and efficient site circulation.
- Integrates accessibility throughout the site.

It represents an intensification opportunity that aligns with contemporary planning objectives for complete communities, walkability, and compact urban form.

3-1 PLANNING APPLICATION

To permit the Proposed Development, the Owner is submitting a Zoning By-law Amendment Application to provide for site-specific provisions within the existing R5 Zone (Figure 19):

- Permitting a Community Lifestyle Facility as a permitted use
- Removing off-street parking requirements for the Community Lifestyle Facility up to 200 m² GFA
- Allowing a maximum building height of 8 storeys or 28 m, whichever is greater
- Requiring a 20 m westerly side yard setback where building height exceeds 6 storeys
- Permitting a maximum Floor Space Index (FSI) of 1.4
- Allowing porch projections of 2.5 m into the interior side and rear yard setbacks

3-2 PUBLIC CONSULTATION STRATEGY

The Formal Consultation Comments outlined a requirement to confirm the public consultation strategy for the required Zoning By-law Amendment Application. It is the intent of the Owner to utilize the prescribed process under Section 34(12) and 34(13) of the Planning Act, which includes a public notice and the scheduling of a Statutory Public Meeting.

The Owner and their project team are available to respond to any public comments received by City staff.

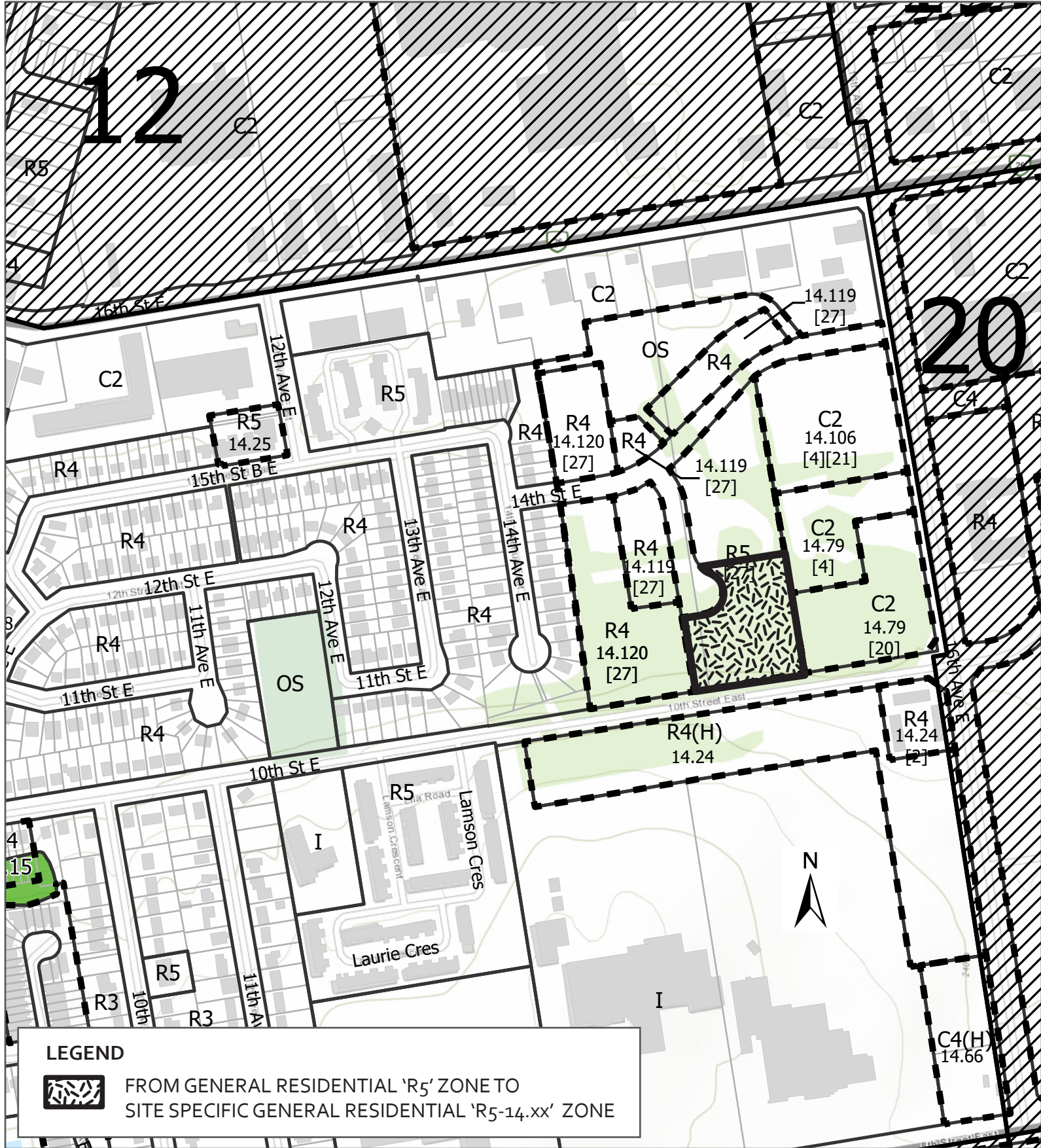


Figure:

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PROPOSED ZONING BY-LAW AMENDMENT

Site Location: 1111 15th Avenue East, Owen Sound, ON



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4 TECHNICAL STUDIES

4-1 SERVICING FEASIBILITY STUDY

GEI Consultants was retained by the Owner to prepare the Servicing Feasibility Study (April 8th, 2026) to confirm the availability of services for the Proposed Development.

- Based on the previously approved SWM Report, no new stormwater management is required. The Site will produce peak flow rates of 189 L/s, which is adequately sized based on the SWM Report.
- The proposed on-site sanitary service is expected to provide adequate capacity for the Proposed Development.
- The proposed on-site water servicing work includes a 200 mm PVC DR18 water service, connected to the existing 200 mm PVC DR18 watermain stub on 15th Avenue East, within the City's Industrial Pressure Zone. This service will provide a fire flow capacity of 28.39 L/s with an anticipated residual pressure of 69.68 psi.
- The storm, sanitary, and water services have been designed in accordance with the applicable Ontario Building Code requirements, MECP and City design standards.

4-2 URBAN DESIGN BRIEF

The Biglieri Group Ltd. was retained by the Owner to prepare the Urban Design Brief to evaluate the proposed "East Court Retirement Residences". The Brief concluded that the Proposal Development is a well-considered, contextually appropriate form of development that achieves a high standard of design and responds appropriately to its surroundings.

The Brief states that a defining strength of the Proposed Development is its deliberate building siting and overall site organization. The building has been positioned toward the eastern portion of the Subject Site, thereby maximizing separation, approximately 75 metres, from the existing low-rise residential neighbourhood to the west, which represents the most sensitive interface. This strategic placement ensures that the Proposal functions as a transitional built form, situated at the edge of a stable neighbourhood while aligning more closely within an existing and emerging cluster of mid-rise retirement living, and similar uses located to the north and east. In this regard, the development does not introduce an abrupt or incompatible form but rather reinforces an evolving pattern of intensification already present within the area.

The surrounding context further supports this positioning. The Site is not located within the interior of a low-rise neighbourhood, but rather at its periphery, where land uses transition toward more intensive forms. The presence of existing mid-rise buildings, including nearby retirement residences and long-term care facilities, as well as approved hotel developments along 16th Avenue East, establishes a built form context in which an 8-storey building is both reasonable and appropriate. The Proposal contributes to this emerging node of higher-density development, consistent with broader planning objectives for intensification within settlement areas.

The Site's unique topography significantly mitigates the building's perceived height and massing from the southern interface. The substantial grade differential along the southern edge of the Site, defined by a retaining wall equivalent to approximately 3 to 4 storeys in height, creates a condition whereby the building presents as approximately 4 to 5 storeys when viewed from 10th Street East. This grade separation establishes a strong physical and visual edge, effectively reducing the building's apparent scale along this interface and minimizing potential visual impacts on the lands to the south, which are further separated by the 10th Street East right-of-way. As a result, the building's full height is primarily experienced from 15th Avenue East and the internal subdivision context, where mid-rise forms are anticipated and appropriate in accordance with the in-force and effect land use designations and zoning.

Additional design measures further reinforce compatibility. The application of a 45-degree angular plane from the western property boundary, which the proposed building falls well under, while not required by policy, provides a clear and defensible demonstration of appropriate massing transition. The building's articulation, including vertical and horizontal design elements, balconies, and material variation, reduces perceived bulk and contributes to a visually refined built form. The comprehensive landscape strategy, including buffering, tree planting, and amenity integration, further enhances the relationship between the development and its surroundings.

From a functional and public realm perspective, the Proposed Development successfully integrates pedestrian connectivity, accessible design, and high-quality amenity spaces. The Site layout prioritizes safety and legibility, with a clear separation of pedestrian and vehicular circulation, while enhancing the streetscape along 15th Avenue East. The inclusion of both private and shared amenity spaces, supported by a cohesive landscape framework, creates a comfortable and engaging environment for residents.

Overall, the Proposed Development achieves the intent of the applicable urban design policies by delivering a development that is compatible, well-integrated, and responsive to its context. It supports intensification within a Primary Settlement Area, contributes to a growing cluster of mid-rise and retirement-oriented uses, and does so in a manner that carefully mitigates impacts on adjacent lands.

4-3 FLIGHT PATH ANALYSIS

GEI Consultants Inc. was retained by the Owner to provide a review of the hospital helipad approach path. The letter confirms that the proposed building on the Site will be well beyond the 65.0 metre horizontal and well below the 50 metre vertical helipad approach pathway.

4-4 TRAFFIC BRIEF

Paradigm Transportation Solutions Limited was retained by the Owner to prepare a Traffic Brief to assess the proposed vehicular access and the existing traffic control at the intersection of 15th Avenue East and 14th Street East.

Based on their review, it was determined that:

- The identified location is considered a candidate for a pedestrian crossing.
- An all-way stop is not required at the 15th Avenue East and 14th Street East intersection.
- The two access connections, as proposed, are consistent with TAC guidelines.

4-5 SHADOW STUDY

A Shadow Study prepared by BIM Studio and reviewed by the Biglieri Group, demonstrates that shadows generated from the proposed 8-storey building fall predominantly onto public road rights-of-way and the neutralized area south of the Site, where a substantial 3–4 storey retaining wall and grade change already exist. These conditions effectively absorb potential impacts, as these areas are not sensitive land uses. The building's placement on the eastern portion of the site further limits off-site shadowing, ensuring most shadows remain within the property or extend only over adjacent streets and other non-sensitive areas.

The study confirms that no shadow is cast onto the low-rise residential dwellings to the west, the most sensitive neighbouring land use. Minor, time-limited shadowing occurs during early morning and late afternoon on the mid-rise retirement residence to the northeast, which contains no balconies. These effects are brief and do not result in prolonged loss of sunlight. Overall, the Shadow Study concludes that the proposed development maintains appropriate sun/shadow conditions, avoids adverse impacts on surrounding residential uses and the public realm, and achieves a compatible built-form relationship within its context.

5 PLANNING POLICY ANALYSIS

This section of the Planning Justification Report provides an overview and assessment of the relevant planning policies to the Proposed Development and the Zoning By-law Amendment Application.

5-1 PLANNING ACT

The *Planning Act, R.S.O. 1990, CHAPTER P.13*, provides provincial legislation that “sets out the ground rules for land use planning in Ontario. It describes how land uses may be controlled, and who may control them.”

Section 2 of the Planning Act outlines the matters of provincial interest that the council of a municipality, a planning board and the Local Planning Appeal Tribunal shall have regard to in carrying out their responsibilities under the Act. The following table summarizes the provincial interests and an analysis as they relate to the proposed development and the Application.

Table 5-1: Summary of Provincial Interest

Section	Provincial Interest	Analysis
a)	the protection of ecological systems, including natural areas, features and functions	The Site does not contain any designated natural areas, features or functions.
b)	the protection of the agricultural resources of the Province	The Site is not located within an agricultural area, and the intensification of land within a defined settlement area minimizes the need for urban boundary expansions on agricultural lands.
c)	the conservation and management of natural resources and the mineral resource base	The Site does not form part of a natural resource area.
d)	the conservation of features of significant architectural, cultural, historical, archaeological or scientific interest	The Site has not been identified for any significant architectural, cultural, historical, archaeological or scientific interest.
e)	the supply, efficient use and conservation of energy and water	The Proposed Development can be serviced through the existing infrastructure grid within the City, and the infrastructure extended as part of the Plan of Subdivision. Higher-density housing reduces per-capita energy and water consumption. The design includes bicycle parking (64 spaces provided) and EV-ready parking, supporting low-carbon transportation.

Section	Provincial Interest	Analysis
f)	the adequate provision and efficient use of communication, transportation, sewage and water services and waste management systems	The Proposed Development utilizes existing infrastructure in the City, including municipal servicing, transportation and waste management. The Site is proximate to an existing transit route.
g)	the minimization of waste	The Owner provides for an integrated construction through Stubbe's precast modular building system to minimize waste generated from development.
h)	the orderly development of safe and healthy communities	The Site has been designated for residential development in the Official Plan. The development introduces new housing supply in a fully serviced location with access to various amenities on-site and off-site to support the older adult population. Fire access, barrier-free routes, and safe circulation contribute to a healthy community design.
h.1)	the accessibility for persons with disabilities to all facilities, services and matters to which this Act applies	The Proposed Development includes accessible dwelling units, along with accessible parking and scooter parking to support those with accessibility needs. The Conceptual Site Plan also includes dropped curbs and tactile indicators
i)	the adequate provision and distribution of educational, health, social, cultural and recreational facilities	The Site is located within an established urban area served by schools, health facilities, parks, and community services. The proposed building includes indoor and outdoor amenity areas, exceeding zoning requirements.
j)	the adequate provision of a full range of housing, including affordable housing	The Owner is proposing the inclusion of affordable dwelling units, at a rate of 10% of the total dwelling units.
k)	the adequate provision of employment opportunities	Not applicable.
l)	the protection of the financial and economic well-being of the Province and its municipalities	The Proposed Development is an intensification of serviced land, maximizing the efficiency of existing infrastructure. The development increases the municipal tax base.

Section	Provincial Interest	Analysis
		Higher-density housing supports local businesses and transit.
m)	the co-ordination of planning activities of public bodies	Through the Formal Pre-Consultation, the City has provided the opportunity for applicable agencies to comment on the application.
n)	the resolution of planning conflicts involving public and private interests	None identified.
o)	the protection of public health and safety	No public health or safety concerns have been identified by the municipality or commenting agencies.
p)	the appropriate location of growth and development	The City has designated the Site for residential development, with a focus on intensification, efficient use of land and meeting the full range of housing needs.
q)	the promotion of development that is designed to be sustainable, to support public transit and to be oriented to pedestrians	The compact form of the development supports transit viability. The Conceptual Site Plan includes: <ul style="list-style-type: none"> ◦ Pedestrian connections ◦ Barrier-free routes ◦ Bicycle parking ◦ Outdoor amenity areas
r)	the promotion of built form that:	
r.i)	is well-designed	The Urban Design Brief provides a fulsome analysis of the built-form and its design, concluding it is contextually appropriate for the Site and surrounding land uses.
r.ii)	encourages a sense of place	Contributes to the residential nature of the surrounding area, with a particular focus on housing and services for the older adult population.
r.iii)	provides for public spaces that are of high quality, safe, accessible, attractive and vibrant	The Owner is proposing the opportunity for the larger public to access the outdoor and indoor amenities on the Site.
s)	the mitigation of greenhouse gas emissions and adaptation to a changing climate	Through the efficient use of land and services, the proposed development is minimizing the contribution from new development to climate change.

In summary, the Proposed Development and the implementing Application has regard for matters of public interest by providing for an efficient and compact development that utilizes existing infrastructure and community resources while contributing to safe, healthy and well designed communities.

5-2 PROVINCIAL PLANNING STATEMENT, 2024

The Provincial Planning Statement (“PPS”), 2024 is a province-wide policy document that sets the foundation for regulating development and land use. The PPS is issued under Section 3 of the *Planning Act*. The PPS “sets the policy foundation for regulating the development and use of land province-wide, helping achieve the provincial goal of meeting the needs of a fast-growing province while enhancing the quality of life for all Ontarians.” The document is to be read in its entirety, and all relevant policies must be considered. Municipal official plans are the most important vehicle for implementing the PPS and achieving comprehensive, integrated, and long-term planning.

The following section summarizes the policy directives relevant to the Proposed Development and the associated Application.

Creation of Healthy and Livable Communities

The PPS, in Section 2.1.6 states that planning authorities should support the achievement of complete communities by:

- a) *accommodating an appropriate range and mix of land uses, housing options, transportation options with multimodal access, employment, public service facilities and other institutional uses (including schools and associated child care facilities, long-term care facilities, places of worship and cemeteries), recreation, parks and open space, and other uses to meet long-term needs;*
- b) *improving accessibility for people of all ages and abilities by addressing land use barriers which restrict their full participation in society; and*
- c) *improving social equity and overall quality of life for people of all ages, abilities, and incomes, including equity-deserving groups.*

Settlement areas shall be the focus of growth and development with efficient land use patterns that support a mix of land uses. Section 2.3.3 of the PPS supports general intensification and redevelopment, including planning for a range and mix of housing options.

Housing

Section 2.2 of the PPS explicitly addresses considerations for housing, including intensification, redevelopment, and the provision of an appropriate range and mix of housing types and densities. Section 1.4.3 states that planning authorities shall provide for a mix of housing types and densities by:

Planning authorities shall provide for an appropriate range and mix of housing options and densities to meet projected needs of current and future residents of the regional market area by:

- a) establishing and implementing minimum targets for the provision of housing that is affordable to low- and moderate-income households, and coordinating land use planning and planning for housing with Service Managers to address the full range of housing options including affordable housing needs;*
- b) permitting and facilitating:*
 - 1. all housing options required to meet the social, health, economic and well-being requirements of current and future residents, including additional needs housing and needs arising from demographic changes and employment opportunities; and*
 - 2. all types of residential intensification, including the development and redevelopment of underutilized commercial and institutional sites (e.g., shopping malls and plazas) for residential use, development and introduction of new housing options within previously developed areas, and redevelopment, which results in a net increase in residential units in accordance with policy 2.3.1.3;*
- c) promoting densities for new housing which efficiently use land, resources, infrastructure and public service facilities, and support the use of active transportation; and*
- d) requiring transit-supportive development and prioritizing intensification, including potential air rights development, in proximity to transit, including corridors and stations.*

Planning Analysis

It is our opinion that the Proposed Development and the implementing Application is consistent with the PPS. As outlined in the preamble to the PPS, the policy-led planning systems in Ontario seek to address the complex interrelationships among the pillars that contribute to good land-use planning. This includes agricultural protection, the creation of complete communities, a range and mix of housing supply, long-term economic prosperity and climate change mitigation.

The PPS guides development patterns that support complete communities, where residents have convenient access to daily needs, services, and transportation. The Site is located proximate to commercial uses, community services, and transit routes, enabling residents—particularly older adults—to meet daily needs without relying on a car. The Proposed Development includes extensive on-site amenity areas and pedestrian connectivity, contributing to a complete community for the immediate area

The Proposed Development addresses existing housing needs in the City of Owen Sound, including a greater range of unit types, sizes, and affordability. It leverages a vacant property within the settlement area to help create a complete community with a range of land uses and housing types. The Proposed Development includes the provision of at least 13 affordable dwelling units and supports aging-in-place by locating older adult housing near services, transit, and commercial amenities.

The Proposed Development addresses matters related to climate change and agricultural protection by providing new housing within the built boundary that alleviates long-term pressure to expand the settlement area.

5-3 COUNTY OF GREY OFFICIAL PLAN (RECOLOUR GREY), 2018

The Grey County Official Plan ("County OP"), consolidated on May 6, 2025, establishes the "goals, objectives and policies to manage and direct physical (land use) change and monitor its effects on the cultural, social, economic and natural environment within the regional community (Section 1.2)." The Site is designated as "Primary Settlement Area" on Map 1 to the County OP. There are no identified cultural or natural heritage resources on the Site (Figure 20).

Primary Settlement Areas are areas suitable for high intensification targets as well as high-quality urban form and site design (Section 3.5) and permit the full range of urban uses. A minimum development density of 20 units per hectare is recommended for Primary Settlement Areas (Section 3.5.5).

In keeping with the PPS, the County OP seeks to create complete communities that include a full range of housing, support young families, youth, and newcomers, and protect farmland. Implementing settlement area policies applicable to the proposed Application includes:

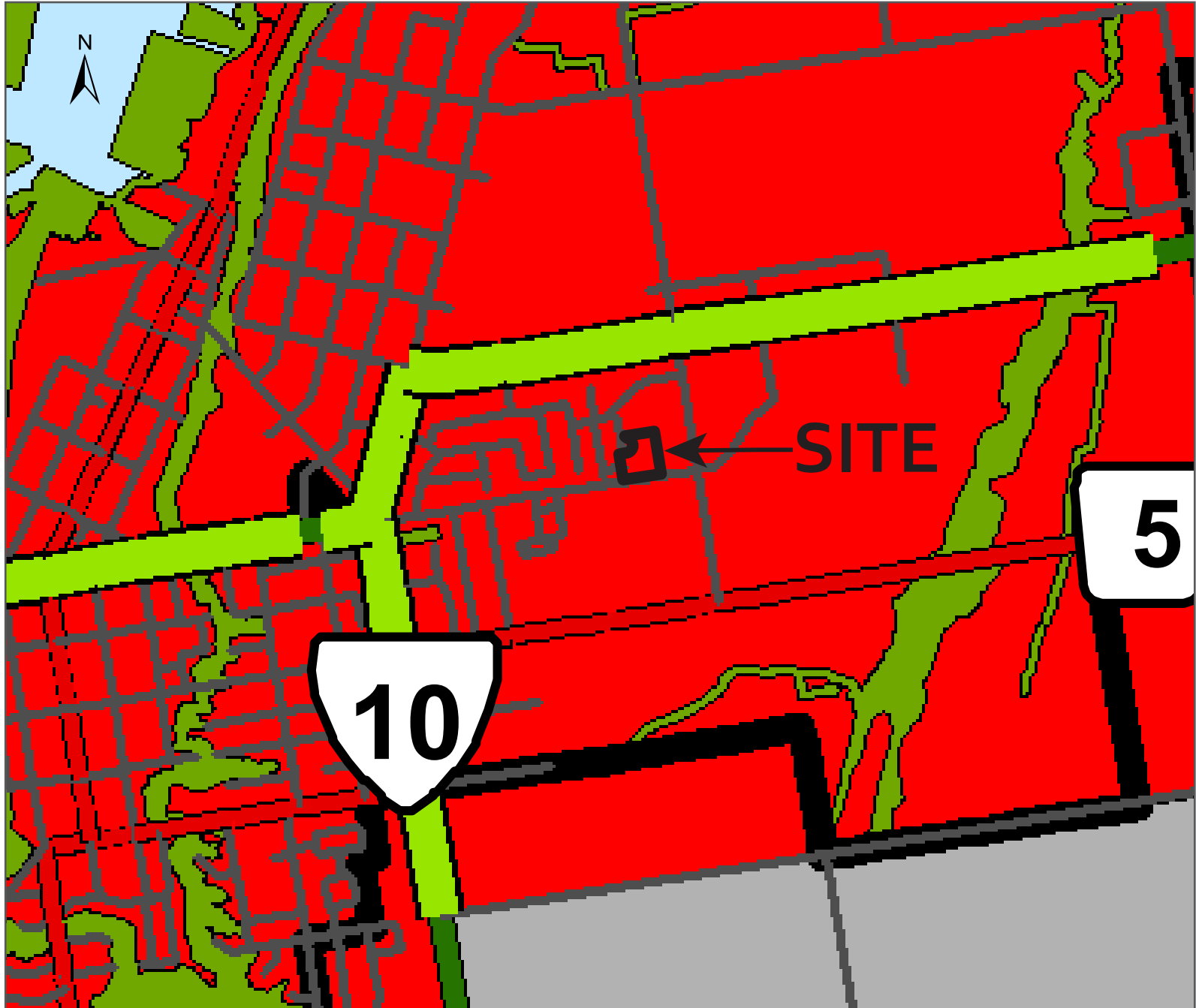
- Section 3.4.1 (Intensification Targets): 15% of all new development shall be achieved through intensification (Owen Sound)
- Section 3.4.1.1: Local municipalities must promote and facilitate intensification
- Section 3.4.15 (Settlement Area Policies): Development within the built-up areas may be of higher density to achieve the policy directives of this Plan but should be compatible with adjacent residential areas. The local municipalities may explore means to ensure compatibility through measures such as transitional densities, built form, and land uses.
- Section 3.5: New construction through intensification should occur in a manner that takes into account the existing built and physical environment and is compatible with the surrounding land uses

The County OP encourages the provision of affordable housing, including rental housing. Section 4.2.2 of the County OP defines affordable rental housing means a unit where rent is the least expensive of the following:

- At or below the average market rent in Grey County or,
- Rent prices do not exceed 30% of gross household income

Seniors housing is encouraged through Section 4.2.7 of the County OP, promoting opportunities for flexible, experimental seniors housing to assist in accommodating an aging population. The County OP states that "Grey County is focused on providing a variety of options that would account for their psychological, physical, and social needs."

Section 10.5.9 of the County OP sets out the urban design guidelines, which have been assessed within the Urban Design Brief for the Proposed Development. The Urban Design Brief concluded that the "proposed development conforms with the policy direction for compact, transit-supportive, and pedestrian-oriented development through the provision of a coordinated site



LEGEND

Provincial Highway	Special Agricultural	Space Extensive Industrial and Commercial
Connecting Link	Rural	Niagara Escarpment Plan Boundary **
Provincial Highway	Primary Settlement Area *	Niagara Escarpment Development Control Area
County Road	Secondary Settlement Area *	Escarpment Natural Area
Local Road	Inland Lakes & Shoreline Settlement Area	Escarpment Recreation Area
Seasonal Road	Recreational Resort Settlement Area	Hazard Lands
Agricultural	Sunset Strip Settlement Area	Provincially Significant Wetlands and Significant Costal Lands
Industrial Business Park Settlement Area	* refer to Secondary Schedules for further detail.	
	** certain settlement areas within the Niagara Escarpment Plan Boundary may be subject to Development Control.	

Figure:

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**THE COUNTY OF GREY
OFFICIAL PLAN - MAP 1**

Site Location: 1111 15th Avenue East, Owen Sound, ON



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layout, integrated pedestrian connections, and a landscape framework that enhances walkability and contributes to a cohesive public realm.”

In our professional opinion, the Proposed Development and the Application conform to the County OP by providing for the creation of housing geared towards older adults on a vacant, fully serviced parcel of urban land. The Proposed Development will assist the municipality in meeting intensification growth targets in the County OP, and minimize the need to expand settlement boundaries to surrounding agricultural lands.

The Proposed Development meets two housing objectives of the County OP: seniors housing and affordable housing, providing strong alignment with the policy direction of the County.

5-4 CITY OF OWEN OFFICIAL PLAN, 2021

The City of Owen Sound Official Plan, 2021 (“OP”), establishes the policies, goals and objectives to guide the development and redevelopment of lands within the City for a period equal to the planning horizon of the County of Grey Official Plan. The Site is designated as “Residential” on Schedule A to the OP and is also designated as “High Density Residential” on the Sydenham Heights Planning Areas Land Use Plan (Schedule A-2) (Figure).

Goals of the OP are provided under Section 2.2, and include, but are not limited to:

Managing Growth

- a. To plan for a complete community and promote a healthy, active City for the benefit of all residents and visitors.*
- b. To accommodate the population and development anticipated for the City within the planning period in a sustainable, compact urban form and to avoid land use patterns that may cause environmental or public health and safety concerns or promote non-compatible land uses.*
- d. To increase housing supply by identifying and promoting opportunities for intensification and redevelopment where appropriate, and plan for a full range and mix of housing options in terms of dwelling types, densities and tenure.*
- e. To consistently apply a diversity lens to growth management through planning for persons having diverse abilities and circumstances.*

Equity, Diversity and Inclusion

- a. To provide a safe and accessible urban environment with a mix of uses, activities, experiences and opportunities, for persons of all abilities in accordance with the Accessibility for Ontarians with Disabilities Act and the City’s Multi-year Accessibility Plan and Transit Accessibility Plan.*

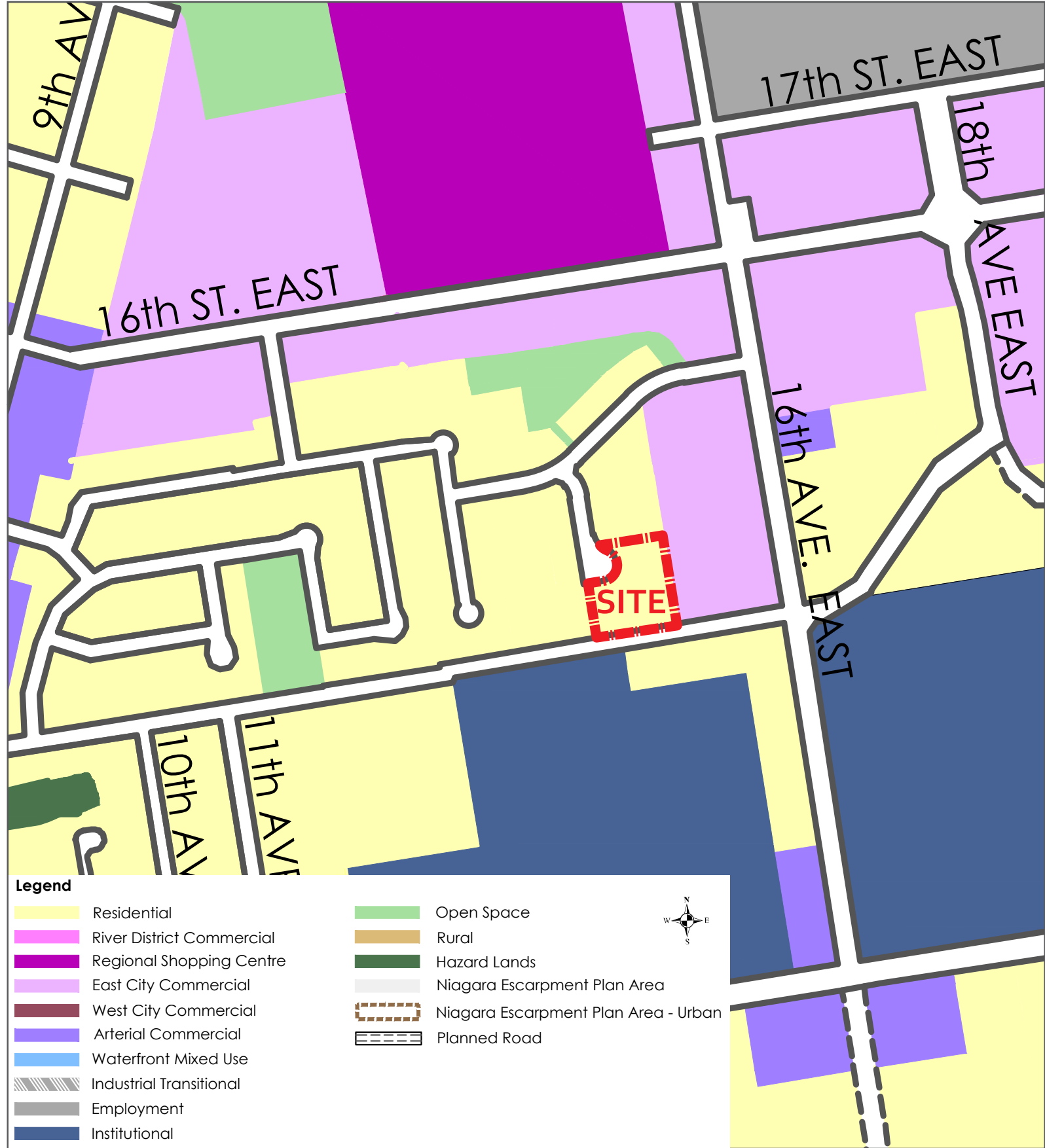


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CITY OF OWEN SOUND OFFICIAL PLAN

Site Location: 1111 15th Avenue East, Owen Sound, ON



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b. To recognize and respond to the demographic changes in the community and develop strategies to encourage all residents to maintain their residency and employment within the City.

Urban Design

- a. To protect, enhance and clearly define the City's unique character and built heritage, including its natural setting, distinct planning areas, and unique residential neighbourhoods.*
- c. To provide streetscapes and pedestrian environments that are designed to be safe, attractive, accessible, and inviting.*
- d. To ensure that new development and redevelopment employs high quality architectural and landscape design, is progressive, aesthetically appropriate, and compatible with the City's built heritage resources, cultural heritage landscapes, and surrounding neighbourhood character.*
- e. To maintain residential areas that are safe, convenient, quiet, well-landscaped, diverse, and coherent in scale.*

Residential Designation Policies

Policies for lands designated as "Residential" are provided in Section 3.1 of the OP. Residential uses may include single-detached, semi-detached, various forms of townhouses, and apartment buildings. Residential uses shall be permitted at low, medium and high density. Other uses that are complementary and provide services to residential uses, such as elementary schools, parks, places of worship, and convenience commercial uses, are also permitted in this designation, subject to the criteria in this Plan.

Section 3.1.3.1 of the OP requires that all lands designated as "Residential" shall have access to full municipal services, including piped water supply, storm drainage and sanitary sewer systems, installed according to requirements of the City and other applicable agencies.

Sydenham Heights Planning Area

The Site forms part of the Sydenham Heights Planning Area. Section 4.2.2 of the OP states that the Phase 1 and 2 areas of the plan are primarily intended to accommodate residential land uses, along with compatible non-residential uses.

The Sydenham Heights Planning Area provides the basis for developing a diverse community area in a way that has the greatest positive impact on the quality of life in Owen Sound. The vision for the area, set out in Section 4.2.1 is:

The Sydenham Heights Planning Area is proposed to be largely a residential mixed use community. The Planning Area is to be distinguished by its natural environmental features, existing major institutional uses, a mixed use node at 16th Avenue East and 8th Street East and residential development to accommodate future growth in the City.

As noted, the Sydenham Heights Planning Area provides an increase in overall density on the Site to a maximum of 130 units per hectare. The Proposed Development has a density of 127 units per hectare. Section 4.2.3.3 of the OP states that land use compatibility between uses shall be addressed and may include physical separation and/or buffering.

The OP identifies a need for enhanced recreational facilities with the Planning Area (Section 4.2.4). In response, the Conceptual Site Plan exceeds the required landscaped open space and contemplates recreation use(s) that could serve the Site and the broader community.

Site Development Considerations

There are several policies within the OP that provide specific design considerations for individual properties that are proposed for development. These include:

Section 5.1.4.3 – development shall provide appropriate off-street parking and loading spaces, in accordance with the Zoning By-law.

Response: The Conceptual Site Plan exceeds the required off-street parking, and provides the required loading space

Section 5.1.4.14 – development shall provide for electric charging stations.

Response: The Conceptual Site Plan provides for 3% of the total parking spaces to have electrical charging stations.

Section 5.1.5.1 – development shall be designed to be walkable and bike friendly transportation.

Response: The Conceptual Site Plan includes an integrated network of accessible sidewalks, along with bicycle storage.

Section 5.1.8.1 – the City requires that the flight path to the Grey Bruce Regional Health Centre heliport be protected.

Response: A Flight Path Analysis has been completed and concludes that there is no negative impact to the Grey Bruce Regional Health Centre.

Section 5.2.4.3 – the OP supports the integration of Low Impact Design (LID) infrastructure.

Response: Opportunities for LID will be considered as part of the Site Plan Application.

Urban Design

Section 8 of the OP provides the urban design policies for new development within the City. These policies have been set out in the Urban Design Brief, and it was concluded that the Proposed Development conforms with the urban design policies of the OP, particularly Section 8, as it demonstrates a comprehensive and integrated approach to Site and built form design that prioritizes accessibility, pedestrian connectivity, landscape integration, and compatibility with surrounding uses. The Proposed Development achieves a high standard of design through the coordinated arrangement of building massing, streetscape treatment, parking organization, and amenity spaces, resulting in a comfortable, safe, and visually cohesive environment. The Proposed Development responds directly to staff comments through refinements to access, pedestrian circulation, buffering, and landscape design, ensuring that key urban design objectives related to walkability, safety, and public realm quality are met. Overall, the development represents a contextually appropriate and well-designed addition to the City's built form, advancing the Official Plan's vision for compact, attractive, and liveable residential environments.

It is noted that Section 3.11.6.1 supports private recreational facilities that are developed in a manner that will complement public recreational uses.

Draft Official Plan Amendment (Housekeeping)

The City has initiated a housekeeping amendment to the City OP. The Statutory Public Meeting was held on March 23rd, 2026 and is anticipated for consideration in the Spring of 2026 by City Council. Until such time as the housekeeping amendment is adopted by Council and the appeal period lapses, the existing City OP remains in force and effect.

Key proposed changes include:

- Section 3.1.2.1 proposes to increase the permitted maximum density within the "High Density Residential" designation from 125 units per hectare to 200 units per hectare.
- Section 3.1.2.5 states that the City will support the County goal by providing policies that provide for a range and mix of housing options and densities to meet the projected needs of current and future residents of the City.
- Section 3.1.2.5 states that the City will support the integration of affordable housing in proximity to transit and amenities to increase mobility and accessibility to goods and services, healthy food retailers, commercial areas, employment, medical and health facilities, recreation, transit, and trails.
- Section: 5.1.1.12 New developments will be designed to ensure the safe access for vehicles and emergency vehicles. New residential developments with 85 to 150 units will need to have at minimum a full access plus a secondary emergency access.

Planning Analysis

It is our professional opinion that the Proposed Development and implementing Application conform to the OP. The proposed land use is permitted on the Site, and the development specifically addresses OP policies by providing needed housing for older adults that is affordable, accessible, and appropriately designed to meet their needs. The proposed density on the Site is permitted through Official Plan Amendment 9.

The OP encourages intensification within the built-up area, particularly on underutilized parcels with access to municipal services. The Site is fully serviced and located within an established neighbourhood with access to transit, parks, and community facilities.

The proposal provides 128 dwelling units, representing a compact, efficient form of development and intensification that supports the OP's goals for:

- Housing choice
- Efficient land use
- Transit-supportive densities
- Reduced development pressure on agricultural lands

The Owner has also committed to providing affordable housing, which directly supports the OP's direction to:

- Increase the supply of attainable and affordable units
- Encourage private-sector participation in affordable housing delivery
- Provide housing options for older adults

The Proposed Development aligns with the OP's policies for age-friendly housing and supportive living environments. The Conceptual Site Plan includes various recreational and social amenities for older adults, along with barrier-free access, scooter storage, woodworking areas, and pickleball courts.

The proposed eight-storey building height is contextually appropriate given the surrounding land uses, the gradient change to 10th Street East and the placement of the proposed building. The Owner is proposing significant increases in building setbacks to adjacent low-density residential land uses, along with extensive landscaping to screen the proposed building.

The OP encourages mid-rise forms where they can be integrated with surrounding development. The grade change ensures that the building presents as a lower-profile structure when viewed from the west, minimizing visual impact and supporting compatibility.

Transportation considerations have been addressed, along with flight path safety in proximity to the hospital.

The Urban Design Brief concluded that the Proposed Development conforms to the specific policies in the OP related to Urban Design (Section 8). Through the building placement, design, sun-shadow study, and angular plane, the Proposed Development was determined to be a compatible and desirable addition to the immediate community.

The proposed amendments by the City to the Official Plan clearly signal a continued policy direction to support the efficient use of land, increased densities and the provision of affordable housing. In our professional opinion, the Application has regard for these emerging land use policies through the proposed density and the provision of 10% affordable housing units.

5-5 CITY OF OWEN SOUND ZONING BY-LAW

The City of Owen Sound Zoning By-law zones the Site as “General Residential (R5)”, which permits the proposed apartments (Figure 22). The submitted Zoning By-law Amendment is being requested to provide for site-specific provisions within the existing “General Residential (R5)” Zone, as follows:

The purpose of this Zoning By-law Amendment (ZBA) is to rezone the subject lands from Residential Fifth Density (R5) to a site-specific R5 zone to permit a modest intensification project that aligns with municipal and provincial policy directions. The amendment introduces permissions tailored to the site’s context, including:

- Permitting a Community Lifestyle Facility as a permitted use
- Removing off-street parking requirements for the Community Lifestyle Facility up to 200 m² GFA
- Allowing a maximum building height of 8 storeys or 28 m, whichever is greater
- Requiring a 20 m westerly side yard setback where building height exceeds 6 storeys
- Permitting a maximum Floor Space Index (FSI) of 1.4
- Allowing porch projections of 2.5 m into the interior side and rear yard setbacks

Collectively, the proposed site-specific provisions support a compact, context-sensitive form of residential intensification while enabling a small-scale community-oriented use that enhances neighbourhood amenities.

The following table summarizes the zoning regulations in the R5 Zone and compares them to the standards for the proposed development.

Table 5-2: R5 Zoning Regulations (Section 6.6)

Regulation	Requirement	Proposed Development*	Compliance
Minimum Lot Area	450 sq.m.	10,127 sq.m.	Yes
Minimum Lot Frontage	13.5 m	69.23 m	Yes
Minimum Front Yard Depth	6.5 m	35.94 m	Yes

Regulation	Requirement	Proposed Development*	Compliance
Minimum Side Yard Width	4.0 m	7.35m & 14.18m	Yes
Minimum Rear Yard Depth	7.5 m	7.5m	Yes
Maximum Lot Coverage	40%	17.1%	Yes
Maximum Height	12 m	27.36 m	No
Maximum Floor Space Index	1.0	1.37	No
Minimum Off-Street Parking (Apartment Dwelling Unit)	1.25 spaces/unit (160 spaces)	166	Yes
Minimum Off-Street Parking (Pickleball Court)	3 spaces per court	3	Yes
Off-Street Parking Dimension	2.65 m by 6.0 m	2.65 m by 6.0 m	Yes
Driveway Width	6.0 m	7.0 m	Yes
Accessible Parking Spaces	1, plus 3% of the total required (6 spaces)	Type A - 3 Type B - 3	Yes
Accessible Parking Space Dimension (Plus 1.5m accessible aisle)	Type A – 3.4m by 6.0m Type B – 2.4m by 6.0m	Complies	Yes
Minimum Loading Space	1	1	Yes
Minimum Bicycle Parking (Apartment Dwelling Unit)	10% of required vehicle parking (16 spaces)	55 provided	Yes
Minimum Bicycle Parking (Community Facility)	10% of required vehicle parking, or 4 spaces, whichever is greater (4 spaces)	4 provided	Yes
Permitted Yard Projections (Side Yard): 1. Porch or Deck greater than 0.75 m above finished grade 2. Porch or Deck less than 0.75m above finished grade	Projection: 1.0m Minimum Setback: 0.9m Projection: No Max. Minimum Setback: 0.9m	Projection: 2.4m Minimum Setback – 4.95m Interior and Rear Yard – 4.95m setback	No Yes

The following relief is requested:

“Community Lifestyle Facility” Use and Associated Off-Street Parking

The proposed use is intentionally modest in scale, neighbourhood-serving, and inherently compatible with the surrounding residential context. Its primary function is to support the daily recreational needs of residents on the site and in the immediate community. By introducing small, community-oriented facilities that are integrated into a predominantly residential environment, the proposal aligns with contemporary planning objectives that encourage complete communities, local access to amenities, and the co-location of compatible uses. These facilities include the proposed pickleball court and the interior woodworking shop.

The proposed pickleball court has been provided with increased setbacks and a landscape area to screen the proposed use from the adjacent low-density residential uses. It is noted that the facility is to be used by community members, including those living in the adjacent low-residential dwelling units.

From a policy perspective, the use directly supports Official Plan directions to enhance neighbourhood livability, promote accessible recreational services, and encourage development forms that contribute to healthy, active communities. The proposed use responds to the OP objectives by offering an inclusive recreational space designed to serve the day-to-day needs of local residents without generating broader-area impacts.

The request for reduced parking requirements is appropriate in the context of the specific development proposal. A significant portion of the facility's function is accessory to the primary residential use on the Site, meaning that most users will be individuals who already reside in the development. These residents will access the facility on foot, eliminating the need for additional parking supply. For members of the surrounding neighbourhood, the facility is intended to operate as a local, walk-to amenity that reinforces active transportation and reduces reliance on private vehicles. This approach is consistent with municipal transportation demand management principles and broader planning goals that encourage compact, pedestrian-oriented communities.

The recreational uses are not of a scale intended for a regional draw or commercial destination; rather, it is designed to serve the local population whose travel patterns are already oriented toward walking. By reducing unnecessary parking infrastructure, the development supports efficient land use, minimizes impervious surfaces, and enhances opportunities for landscaping, tree planting, and improved site design.

Westerly Side Yard Setback

As part of the Application, the Owner proposes increasing the required side-yard setback for the low-density residential uses to the west. The existing zoning requires a minimum side yard setback of 4.0 metres; however, this setback is in the context of a maximum building height of 12.0 metres being permitted in the parent zone.

In concert with the requested increase in building height, the proposed site-specific zoning would increase the required side yard setback (westerly property line) from 4.0 metres to 20 metres. This enhanced setback is a deliberate and effective mitigation measure that:

- Protects the privacy and amenity of adjacent low-density homes
- Reduces perceived massing
- Ensures sunlight access and minimizes overlook
- Demonstrates compatibility and responsiveness to neighbourhood context

Floor Space Index and Building Height

The Amendment requests an increase in the permitted Floor Space Index (FSI) from 1.0 to 1.4 and in the maximum building height from 12 metres to 28 metres, to facilitate a mid-rise apartment building that delivers compact, efficient, and context-sensitive development. The proposed site-specific density and height are supported by a comprehensive urban design analysis that demonstrates compatibility with the surrounding land uses.

At a conceptual level, increased height and densities provide for:

- Compact, walkable, and transit-supportive development.
- Diverse housing mix within the community.
- Efficient use of land with sufficient land area for supporting site functions.

To assess the appropriateness of the proposed density and height, a Sun Shadow Study and Angular Plane analysis were completed. These assessments were considered through the Urban Design Brief, along with an evaluation of the surrounding context in terms of both land use and topographical form.

As noted in the Urban Design Brief, the Site is characterized by a significant grade differential between the Site and 10th Street East to the south, reinforced by an existing retaining wall. This elevation change is approximately equivalent to 3 to 4 storeys. As a result, when viewed from 10th Street East, the building's apparent height is reduced, and it appears to be approximately 4 to 5 storeys from that vantage point.

The proposed site design positions the building to define the internal courtyard and amenity areas, while maintaining appropriate setbacks and transitions to adjacent uses, placing the building as far as possible from existing low-rise uses and within a 45-degree angular plane. This approach directly addresses staff comments regarding the scale, massing, and compatibility, demonstrating that the Proposal has been designed with sensitivity to its context.

The Sun Shadow Study confirms that:

- No impact on private rear yard amenity areas of adjacent low-rise dwellings.
- All shadows fall within the acceptable ranges identified in municipal urban design guidelines.
- The incremental height increase does not introduce new or unacceptable shadow conditions at key times of day or year.

In our professional opinion, the proposed building height and density meet the intent of the Zoning By-law, and the requested increases provide additional land area on the Site to accommodate:

- Increased landscape open space, above the requirement in the Zoning By-law;

- Increased building setbacks to all property lines;
- Off-street parking requirements that exceed the Zoning By-law;
- Additional bicycle parking, above the requirements in the Zoning By-law; and,
- The inclusion of indoor and outdoor amenity areas, including a pickleball court and a woodworking shop.

At a neighbourhood-level, the Site is located at the edge of a low-rise neighbourhood within an emerging cluster of mid-rise buildings, including retirement and long-term care facilities. This context, combined with the proposal's controlled massing and transition strategies, demonstrates a compatible built form that aligns with municipal policies seeking to manage height, scale, and adjacency in a sensitive and context-responsive manner.

Maximum Porch Projection

The proposed site-specific zoning requests an increased projection for a porch or deck. While an increased projection is requested, it is noted that the proposed exterior side yard exceeds the minimum required setback by 3.35 metres, and the proposed porches and decks will exceed the minimum setback to a property line. In combination, this means the proposed porches and decks comply with the minimum required building setback on the interior side yard.

The proposed porches and decks within the Proposed Development have been intentionally designed as larger spaces to offer more amenity area to residents.

In our professional opinion, the proposed porch projections enhance architectural expression and support:

- Human-scaled design
- Activated frontages
- Improved streetscape character

These projections do not create adverse impacts on adjacent properties, which are generally service areas.

Draft Zoning By-law Amendment (Housekeeping)

The City has initiated a housekeeping amendment to the Zoning By-law, in concert with the amendments to the City OP. The Statutory Public Meeting was held on March 23rd, 2026 and is anticipated for consideration in the Spring of 2026 by City Council. Until such time as the housekeeping amendment is adopted by Council and the appeal period lapses, the existing Zoning By-law remains in force and effect.

6 SUMMARY

The Planning Justification Report supports a Zoning By-law Amendment to permit an eight-storey, purpose-built residential apartment building, East Court Residences, on the Site.

The Proposed Development and the implementing Applications align with the Planning Act, are consistent with the Provincial Planning Statement (2024), and conform to the Grey County Official Plan and City of Owen Sound Official Plan. It supports intensification, efficient land use, housing diversity, and age-friendly community objectives. The report emphasizes that the development represents an intensification opportunity that aligns with contemporary planning objectives for complete communities, walkability, and compact urban form.

The Proposed Development contributes to the provision of affordable housing in the City, meeting the planning policies objectives at the provincial, regional and local level. xf

All supporting studies confirm the Site's suitability:

1. Servicing: Existing storm, sanitary, and water infrastructure can accommodate the project; fire flow is adequate.
2. Urban Design: The building is contextually appropriate, benefits from grade changes that reduce perceived height, and fits within an emerging mid-rise node. The report states the siting maximizes separation from the existing low-rise residential neighbourhood to the west.
3. Flight Path: No conflict with the hospital helipad.
4. Traffic: Access design is appropriate; no all-way stop is required.
5. Shadow Study: No shadow impacts on low-rise homes; shadows fall mainly on roads and non-sensitive areas.

The Report concludes that the Proposed Development is compatible, well-designed, and in the public interest. It delivers needed older-adult housing, contributes affordable units, uses existing infrastructure efficiently, and provides generous amenities and buffering. The requested zoning permissions are justified through technical evidence and analysis given the Site's context and the detailed site design.