

Take notice that the Owen Sound Committee of Adjustment has received an application for a minor variance pursuant to Section 45 of the *Planning Act*, R.S.O. 1990, c. P.13, as amended (the "Planning Act") and will hold a public hearing to consider the application on **Monday, September 29, 2025 at 3:00 p.m.** in the Council Chambers of City Hall, located at 808 2nd Avenue East, Owen Sound.

Any person may watch the public hearing at owensound.ca/meetings or in-person and participate by submitting written comments and/or speaking to the application. Written comments will be accepted until 12:00 p.m. on September 29, 2025 and may be submitted to the Secretary-Treasurer of the Committee of Adjustment using the contact information listed below. Written comments received by September 23, 2025 at 4:30 p.m. will appear on the Committee Meeting agenda which will be available for review on September 25, 2025 on the Council and Committees webpage at owensound.ca/meetings. Written comments received by the deadline will be read at the hearing and will be included in the agenda when it is republished after the meeting.

Your comments, including any personal information you provide, will become part of the decision-making process of the application and will be posted on the City's website. Personal information is collected under the authority of the *Planning Act* and will become part of the public record. Questions about this collection should be addressed to the Secretary-Treasurer of the Committee of Adjustment.

If you wish to be notified of the decision of the Owen Sound Committee of Adjustment in respect of the proposed minor variance, you must make a written request to the Secretary-Treasurer using the contact information listed below.

The applicant, the Minister or a specified person or public body that has an interest in the matter may within 20 days of the making of the decision appeal to the Ontario Land Tribunal against the decision of the Owen Sound Committee of Adjustment by filing with the Secretary-Treasurer of the Committee of Adjustment a notice of appeal setting out the objection to the decision.

If you are the owner of a building that contains 7 or more residential units, please post this notice in a location that is visible to all the residents.

Additional information relating to this application is available for inspection at the City of Owen Sound's Planning Division office, Monday to Friday, between the hours of 8:30 a.m. and 4:30 p.m.

Revised Notice Date: September 17, 2025

Christina McLean
Secretary-Treasurer of the Committee of Adjustment
808 2nd Avenue East
Owen Sound, ON N4K 2H4
Telephone: 519-376-4440 ext. 1208
Email: notice@owensound.ca

Schedule 'A' to File No. A15-2025

The following is a brief description of the application that is before the Committee of Adjustment for their consideration.

Type of Application: Minor Variance
Applicant: Ron Davidson Land Use Planning Consultant Inc.
Owner: Bruce Grey Catholic District School Board
Official Plan: Residential, Open Space, Hazard Lands
Zoning Category: Institutional (I) & Hazard Lands (ZH)
Legal Description: SYDENHAM RANGE 5 EGR PT LOTS 9 AND 10 RP 16R12122 PARTS 4 AND 7
Municipal Address: Not yet assigned (28TH AVE E)
Assessment Roll: 425904006500104
Related Applications: ZBA 56

Brief Description of Application:

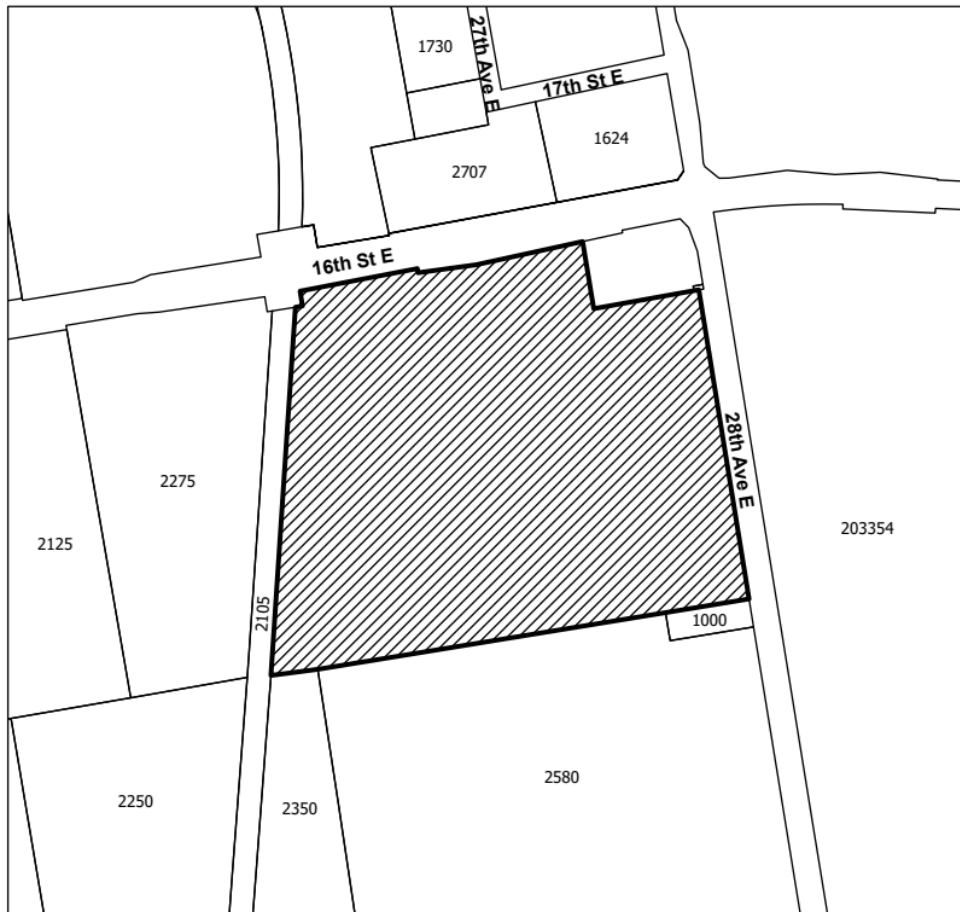
The applicant is proposing The applicant is proposing to construct a new secondary school. The new school is proposed to be comprised of three floors.

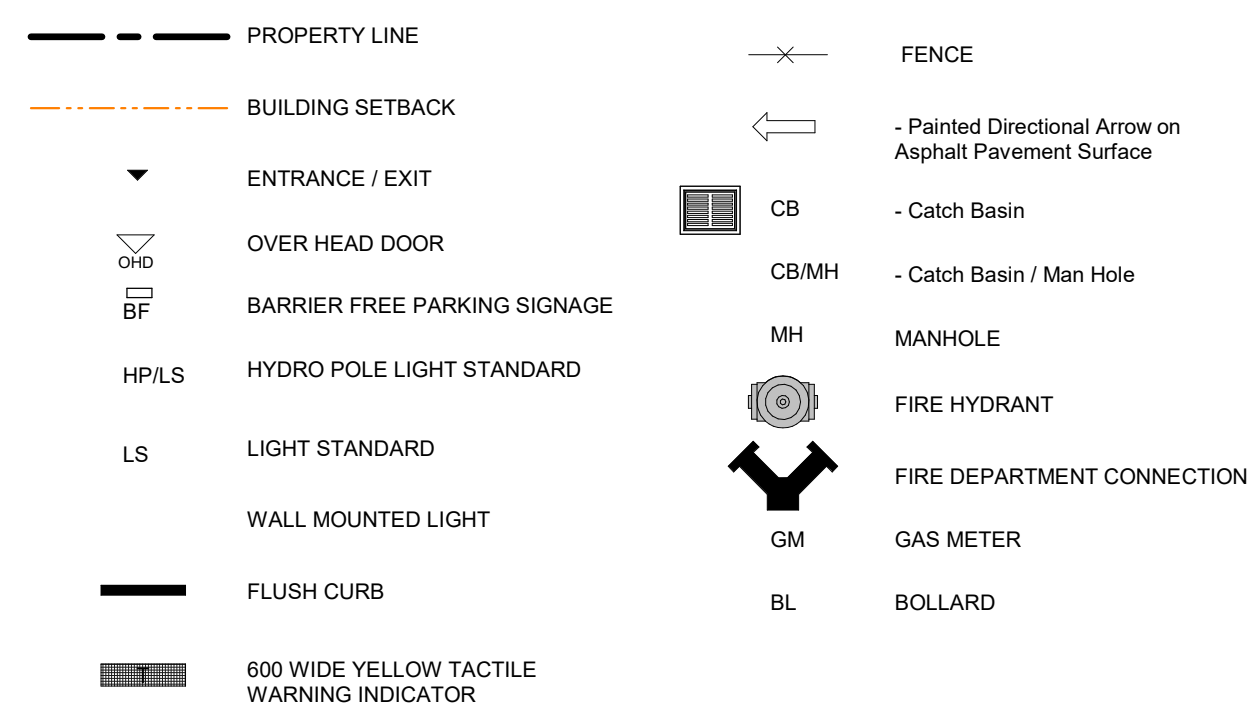
By-law 2025-079 (ZBA 56) was approved earlier this year to amend the zoning categories on the lands. At that time a two storey school was proposed.

The maximum permitted building height in the Institutional Zone is 12 m. The proposed building height is 16 m. A minor variance of 4 m is being requested to address the height of the new building.

The proposed minor variance is outlined on the sketch plan attached to this Notice of Public Hearing.

Key Map



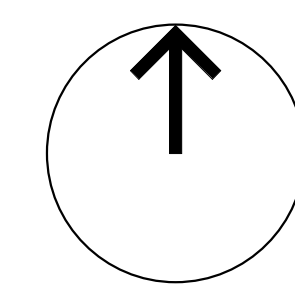


SITE DATA			
28th Ave E, Owen Sound, Ontario			
DATA		REQUIRED	PROVIDED
CURRENT ZONING		ZONING - T INSTITUTIONAL	
LOT AREA (m²)		MIN 800 (m²)	75,329 (m²)
LOT COVERAGE		MAX 60%	8.8%
MIN. LANDSCAPE SPACE		MIN 25%	-
SIDEYARDS	FRONT YARD (m)	7.5 (m)	15.7 (m)
	INTERIOR SIDE YARD (m)	1.0 (m)	17.7 (m)
	EXTERIOR SIDE YARD (m)	3.0 (m)	41.7 (m)
	REAR YARD (m)	2.0 (m)	306 (m)

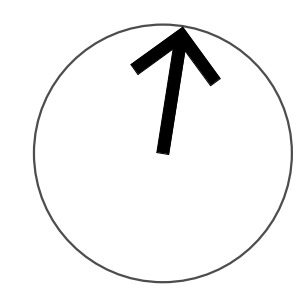
BUILDING DATA - MAIN SCHOOL		
DATA	REQUIRED	PROVIDED
BUILDING AREA (m ²)	-	5,748 m ²
GROSS FLOOR AREA (m ²)	-	10,076 m ²
NUMBER OF STOREYS	-	3
BUILDING HEIGHT	MAX 12 m	15.36 m
FLOOR SPACE INDEX	MAX 1.5	0.13

BUILDING DATA - SHOP - ACCESSORY BUILDING		
DATA	REQUIRED	PROVIDED
BUILDING AREA (m ²)	-	893 m ²
GROSS FLOOR AREA (m ²)	-	893 m ²
NUMBER OF STOREYS	-	1
BUILDING HEIGHT	MAX 12 m	9 m
FLOOR SPACE INDEX	MAX 1.5	0.012
LOT COVERAGE	MAX 12%	1.2%

VEHICLE PARKING DATA		
DATA	REQUIRED	PROVIDED
STANDARD PARKING STALLS	114	237
BARRIER FREE PARKING STALLS	5	5
	TOTAL	242



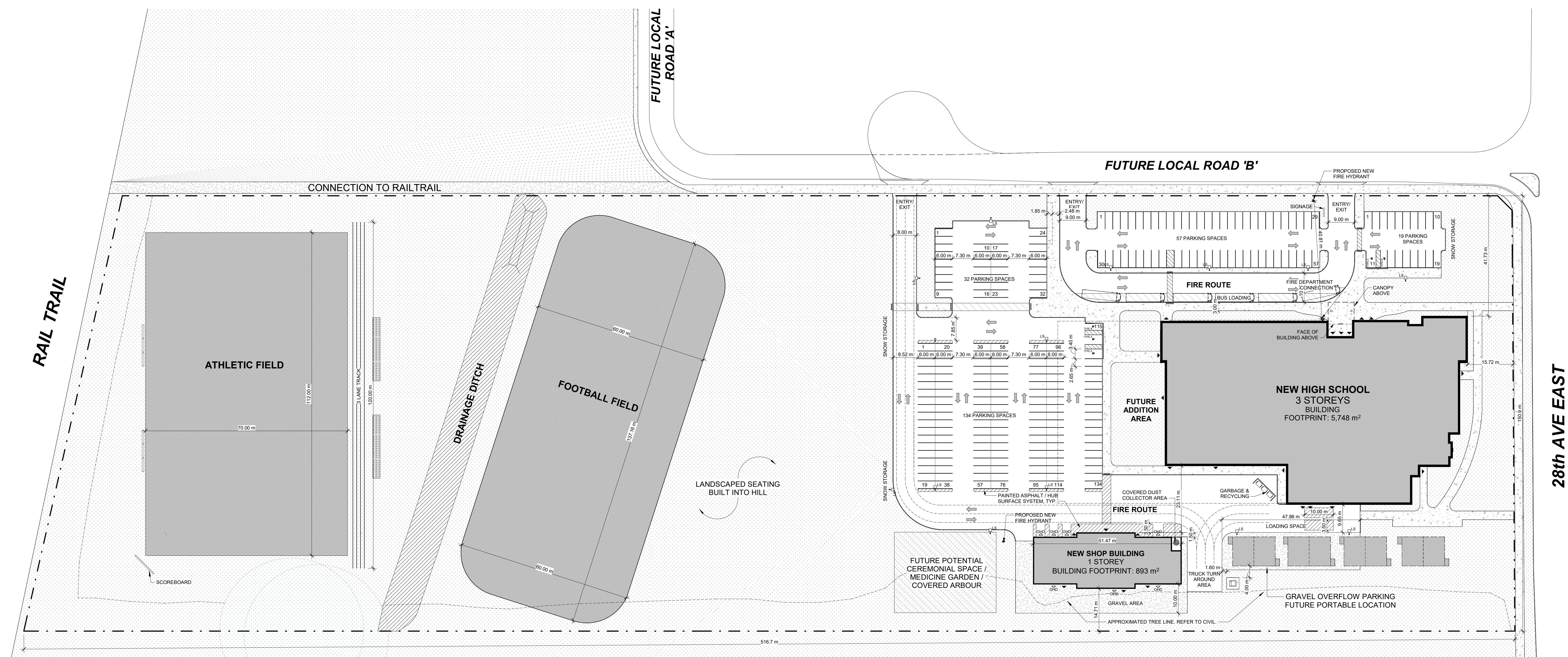
Project North



True North

GENERAL NOTES

- Do not scale drawings.** Written dimensions shall have precedence over scaled dimensions.
- 2. All work shall comply with the 2024 Ontario Building Code and amendments.**
- 3. Contractors must check and verify all dimensions and specifications and report any discrepancies to the architect before proceeding with the work.**
- 4. All contractors and sub-contractors shall have a valid approval to work on the project.**
- 5. All documents remain the property of the architect. Unauthorized use, modification, and/or reproduction of these documents is prohibited without written permission. The architect and/or his/her firm was prepared for the consultant for the account of the owner.**
- 6. The material contained herein reflects the consultants best estimate of the conditions of the site and is not a warranty or limitation of preparation. Any use which a third party makes of the material contained herein, whether in whole or in part, shall be made based on them are the responsibility of such third party.**
- 7. The consultant accepts no responsibility for damages, if any, suffered by any third party as a result of decisions made or actions taken by the consultant.**



PRELIMINARY
NOT FOR CONSTRUCTION

5	2025-07-31	ISSUED FOR MINOR VARIANCE
4	2025-07-18	ISSUED FOR COORDINATION
3	2025-06-18	ISSUED FOR COORDINATION
2	2025-05-20	ISSUED FOR ZBA
1	2025-04-01	COORDINATION

No.	Date	Revision
-----	------	----------

Client:



Project Name / Address:

**BGCDSB OWEN SOUND
HIGH SCHOOL**

230

Drawing Date:

CDM 7

Drawn by:	Checked by:
JHF	J

architects+
urban+designers

Plot Date / Time: 7/31/2025 1:42:50 PM

SITE PLAN



Drawing Scale: As indicated

Status:

Revision No.:

Drawing No.:

A01.01

A01.01

Do not make drawings. Consultants must check and verify all dimensions and report any discrepancies to the Architect before proceeding with the work. All documents remain the property of the Architect. Unauthorised use, modification, and/or reproduction of these documents is prohibited without written permission. The Contract Documents were prepared by the Consultant for the account of the Owner. The Consultant accepts no responsibility for damages, if any, suffered by any third party as a result of decisions made or actions based on the Contract Documents. The material contained herein reflects the Consultant's best judgment in light of the information available to them at the time of preparation and is as such a third party makes of the Contract Documents, or any reliance on or decisions to be made based on them are the responsibility of such third parties.