

Take notice that the Owen Sound Committee of Adjustment has received an application for a minor variance pursuant to Section 45 of the *Planning Act*, R.S.O. 1990, c. P.13, as amended (the "Planning Act") and will hold a public hearing to consider the application on **Tuesday, March 19, 2024 at 3:00 p.m.** in the Council Chambers of City Hall, located at 808 2nd Avenue East, Owen Sound.

Any person may watch the public hearing at owensound.ca/meetings or in-person and participate by submitting written comments and/or speaking to the application. Written comments will be accepted until 12:00 p.m. on March 19, 2024 and may be submitted to the Secretary-Treasurer of the Committee of Adjustment using the contact information listed below. Written comments received by March 13, 2024 at 4:30 p.m. will appear on the Committee Meeting agenda which will be available for review on March 15, 2024 on the Council and Committees webpage at owensound.ca/meetings. Written comments received by the deadline will be read at the hearing and will be included in the agenda when it is republished after the meeting.

Your comments, including any personal information you provide, will become part of the decision-making process of the application and will be posted on the City's website. Personal information is collected under the authority of the *Planning Act* and will become part of the public record. Questions about this collection should be addressed to the Secretary-Treasurer of the Committee of Adjustment.

If you wish to be notified of the decision of the Owen Sound Committee of Adjustment in respect of the proposed minor variance, you must make a written request to the Secretary-Treasurer using the contact information listed below.

The applicant, the Minister or a specified person or public body that has an interest in the matter may within 20 days of the making of the decision appeal to the Ontario Land Tribunal against the decision of the Owen Sound Committee of Adjustment by filing with the Secretary-Treasurer of the Committee of Adjustment a notice of appeal setting out the objection to the decision.

If you are the owner of a building that contains 7 or more residential units, please post this notice in a location that is visible to all the residents.

Additional information relating to this application is available for inspection at the City of Owen Sound's Planning Division office, Monday to Friday, between the hours of 8:30 a.m. and 4:30 p.m.

Notice Date: February 29, 2024

Staci Landry
Secretary-Treasurer of the Committee of Adjustment
808 2nd Avenue East
Owen Sound, ON N4K 2H4
Telephone: 519-376-4440 ext. 1235
Email: notice@owensound.ca

Schedule 'A' to File No. A03-2024

The following is a brief description of the application that is before the Committee of Adjustment for their consideration.

Type of Application: Minor Variance
 Applicant: Ken Jentas
 Owner: Daniel Cahoon
 Official Plan: Residential
 Zoning Category: Medium Density Residential (R4)
 Legal Description: PLAN 179 LOT 12 FREDERICK
 Municipal Address: 1536 5th Avenue 'A' West
 Assessment Roll: 425902000906000
 Related Applications: None

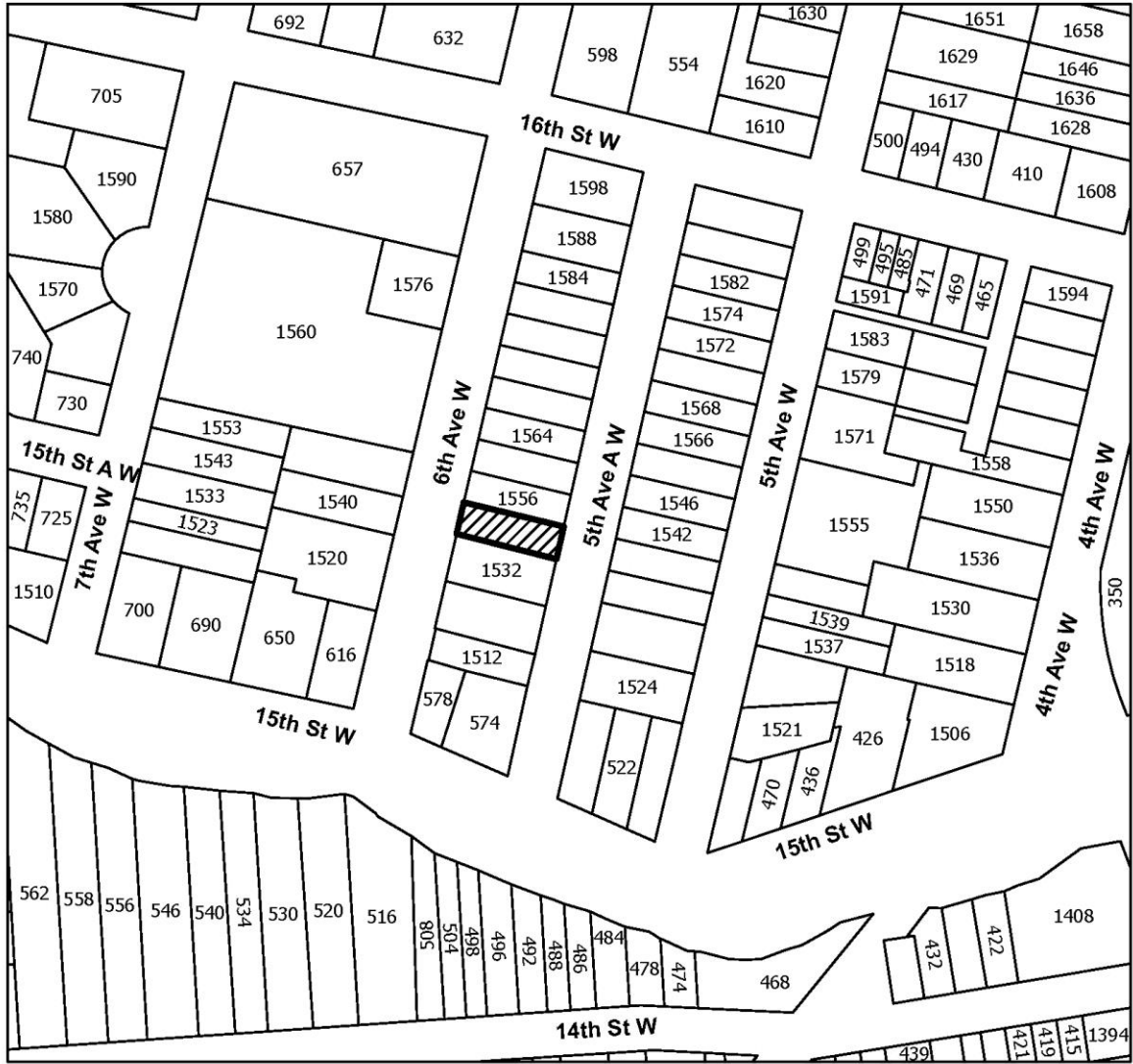
Brief Description of Application:

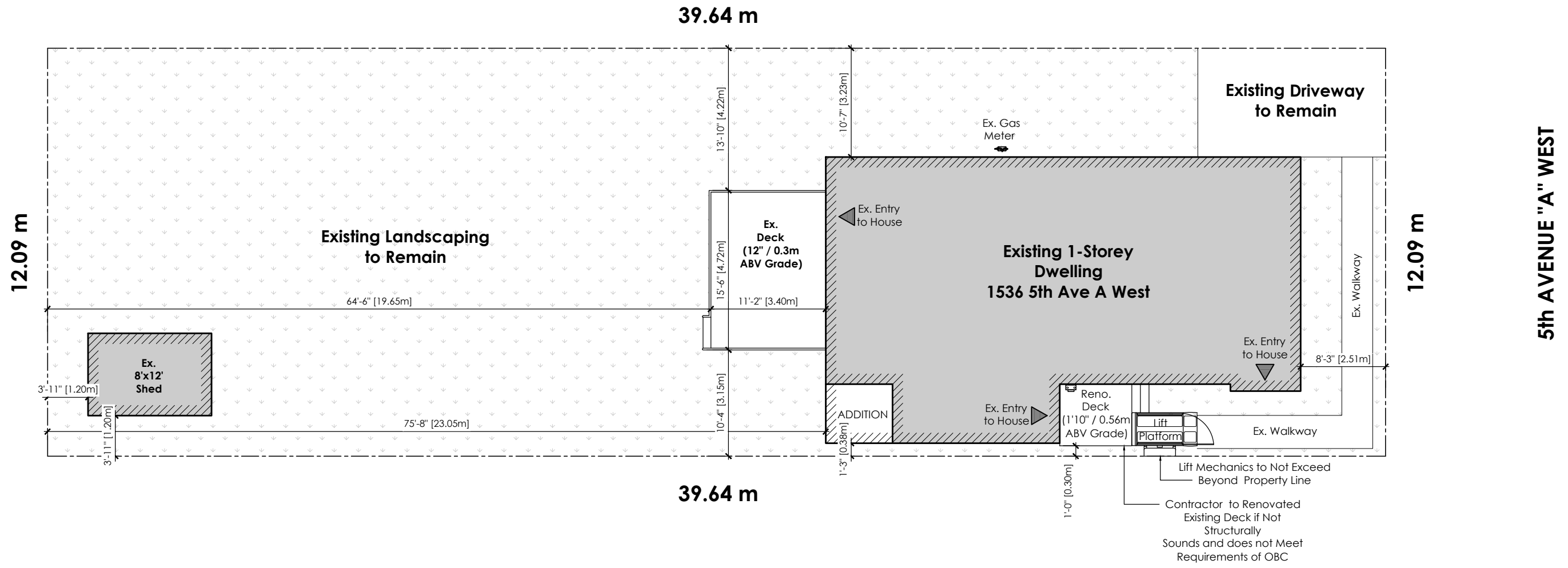
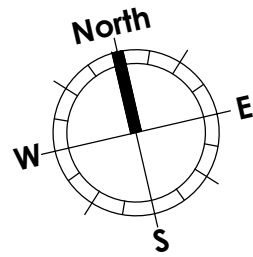
The applicant is proposing to build a 3.0 square metre addition on the southwest corner of the existing single detached dwelling as well as rebuild a 4.0 square metre existing deck. The alterations are proposed to enhance the accessibility of the dwelling and include an accessibility lift to provide access to the front deck. The following variances are being requested to facilitate the proposal:

Zoning Provision	Required	Proposed (southern interior side yard setback)	Variance
Addition Section 6.5.f Minimum Interior Side Yard Setback	0.9 metres	0.38 metres	0.52 metres
Front Deck Section 5.8 (Table 5.8.1) Minimum Setback from Lot Line – Porch or Deck less than 0.75 metres above Finished Grade	0.9 metres	0.3 metres	0.6 metres

The proposed minor variance is outlined on the sketch plan attached to this Notice of Public Hearing.

Key Map





Site Plan

Bathroom Reno Addition / Porch Lift Permit

General notes

1. All dimensions to be checked and verified on site prior to commencement of work. Any discrepancies shall be brought to the attention of permitguys prior to continuation of work.
2. The contractor shall take all precautionary measures under the occupational health and safety act as required by the ministry of labour.
3. All work shall be done in accordance with the minimum standards and specifications of the municipality's engineering department.
4. All work in the municipal road allowance shall meet the minimum standards and specifications of the municipality's engineering department. The contractor is required to obtain & pay for permit to work in municipal r.O.W.
5. Prior to the commencing any work on the installation of services & grading, an approved set of plans and specifications must be available on the job site and shall remain there while work is being done.
6. The owners of the utilities must be informed at least two weeks prior to construction on any existing municipal road allowance. All existing underground utilities within the limits of construction shall be located and marked. Any utilities, damaged or disturbed during construction, shall be repaired or replaced to the satisfaction of the governing body at the contractors expense.
7. Prior to commencing any construction, all sewer outlet information, benchmarks, elevations, dimensions and grades must be checked by the contractor and verified and any discrepancies reported to the engineer.
8. The contractor is responsible for ensuring that there is no interruption of any surface or subsurface drainage flow that would adversely affect neighboring properties

Scope of Work

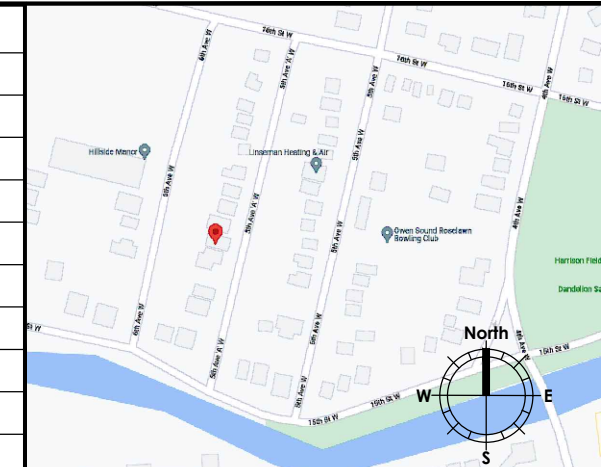
Addition to Bathroom for Barrier Free Design
 Front Porch Lift
 Enlarge Doorways

Existing Dwelling

- More than 5 year old
- Less than 5 year old

Site Statistics All Units in Metric

Lot A	
Lot Depth	39.64
Lot Area	479.25
Zone	RD
Lot Coverage	
Dwelling Area	103.82
Ex. Decks	20.22
Proposed Addition	3.50
Total	127.54
Total Coverage	26.61%



permitguys

80 Clementine Dr, Unit 15
 Brampton ON L6Y 5R5
 Tel: 416 479 9556
 Email: info@permitguys.ca

The undersigned has reviewed and takes responsibility for this design, as well as having the qualifications and requirements mandated by the Ontario Building Code (O.B.C.) to be a Designer.

Qualification Information
Aamou Rafiq 113576
 Name
 Registration Info. **Permitguys.ca Inc.** 110882

Title
Site Plan

Project Name
1536 5th Ave A West

Project No. 22-xx Drawn By KJ Checked By MZ Date 2024-02-21 Scale 3/32"=1'-0"

Municipality
Owen Sound, ON

Filename
1536 5TH AVE A WEST_V9

Sheet No.
A1