

URBAN DESIGN BRIEF

1750 16th Ave E, Owen Sound, ON N4K 5N3

PREPARED BY: MATAJ ARCHITECTS INC.

CITY FILE NUMBER:
REGIONAL NUMBER:
SUBMISSION NUMBER: 1

1750 16th Ave E, Owen Sound, ON N4K 5N3. Urban Design Brief/ OCTOBER 2024



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DISCLAIMER

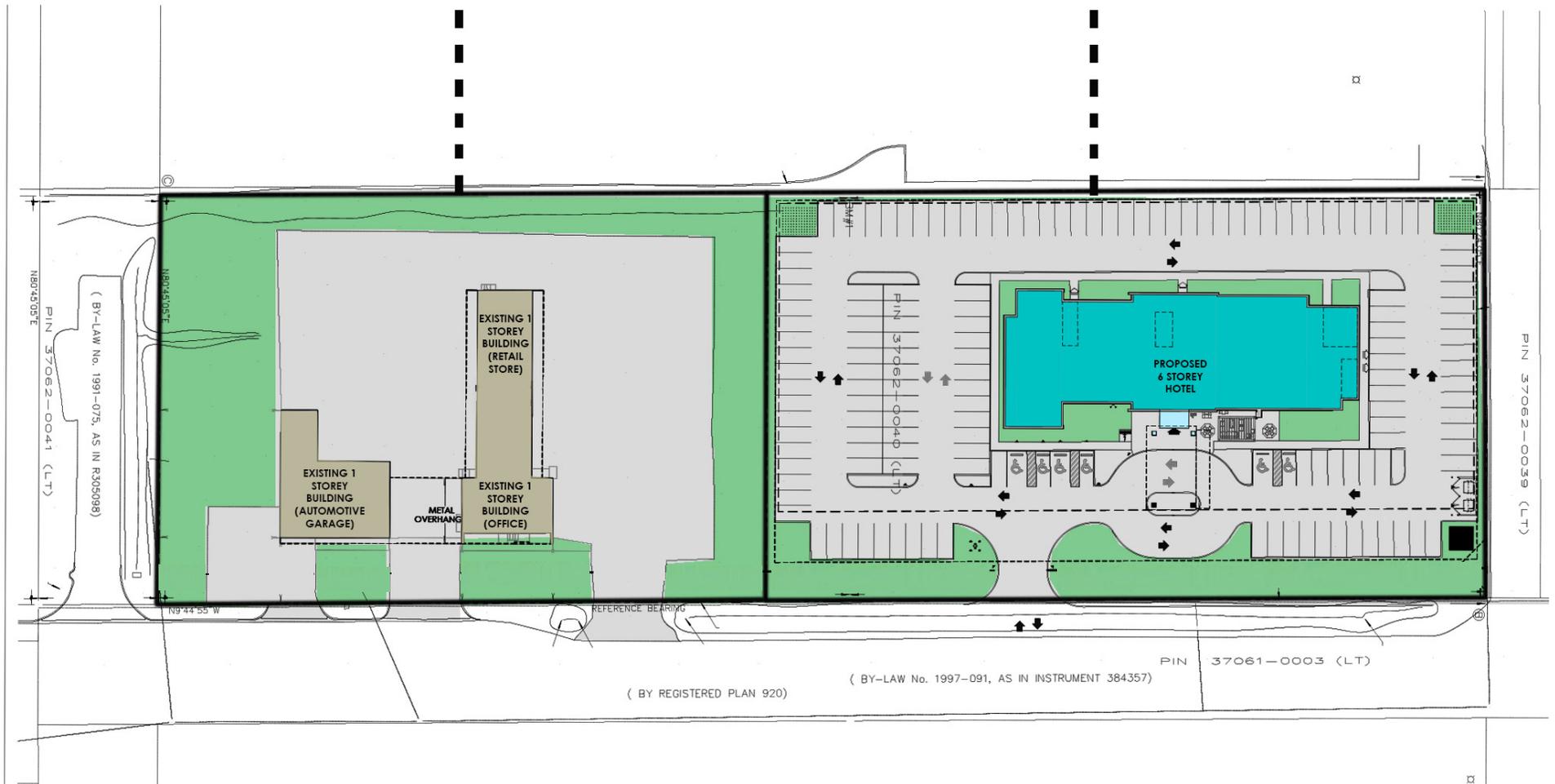
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PHASE 2

PHASE 1



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BACKGROUND AND PURPOSE

1.1 SCOPE

Mataj Architects Inc. has been retained by Ibrahim Dossani (the “Client”) to prepare an Urban Design Brief for the development of the property municipally addressed as 1750 16th Ave E in the City of Owen Sound (the “Subject Site”). The purpose of the Urban Design Brief is to illustrate how the proposal has sought to facilitate the comprehensive development of the Subject Site to include a multi-phase residential development of varying heights and densities in accordance with the development goals of the City of Owen Sound. The Proposed Development will include the following:

- **Phase 1** consists of a 6 storey Hotel development containing 120 guestrooms and a total of a 152 parking lots.
- **Phase 2** is a future development of the existing building on the site.

For the Purpose of this study we will only be looking at Phase 1 of the site while maintaining the context of phase 2 as existing to remain.

1.2 PROPOSED DEVELOPMENT

A Site Plan Approval (“SPA”) application is required in order to facilitate the Proposed Development. An Urban Design Brief was identified as a requirement for this application as requested by the client. The Proposed Development will be implemented through two phases. The SPA application pertains to only Phase 1, as further detailed in Section 4 of this report.

1.3 REPORT CONTENT

Based on the matters for consideration and evaluation identified in the pre-submission consultation record, this Urban Design Brief:

- Describes the existing physical conditions on the Subject Site and the existing neighbourhood context surrounding the Subject Site (Section 2);
- Describes the Proposed Development (Section 4);
- Summarizes the principal City policy and guideline documents applicable to the subject Site and the relevant sections as they relate to the Proposed Development (Section 5); and
- Makes conclusions regarding the findings (Section 6).

1.4 SUPPORTING STUDIES AND MATERIALS

This Urban Design Report has considered the following plans and reports prepared in support of the subject applications:

- Site Plan prepared by Mataj Architects Inc.;
- Floor Plans and Elevations prepared by Mataj Architects Inc.; and
- Landscape Concept Plan prepared by Adesso Design Inc.

2 EXISTING CONDITIONS

2.1 SURROUNDINGS & SITE CONTEXT

The Site is a rectangular shape and is occupied by an existing commercial building located on the south side of the Site. The Site is located, at the intersection of 16th Street East and 16th Avenue East (Owen Sound). The site has a total area of 6,483 m² with a frontage of approximately 222.77m along 16th Avenue East and an approximate depth of 68.57m.

The Site is located adjacent to the Heritage Place Mall site in the downtown of Owen Sound. The surrounding area is mainly composed of commercial and residential properties making the property a prime site for the development of the hotel. The development itself sustains the city’s vision of intending *“to maintain a simple and easily understood plan structure based on nodes of intensive commercial, industrial and service activity joined together by an arterial road system.”* (8.3.1.2. Final approved official Plan)

2.2 EXISTING SITE CONDITIONS & VEGETATION

There are no existing buildings the phase 1 Site. The Subject Site is an open field, and few landscaping trees exist along the eastern perimeter of the Subject Site.

The Tree Management Plan was prepared by Adesso Design Inc. for Phase 1 of the Proposed Development. A tree inventory of the Subject Site documented 10 trees on and within the property. The site was developed to maintain the *“locations of existing mature trees ...Through the implementation of the Tree Preservation Policy”* (8.2.1.6 Final approved official Plan) as much as possible.



Figure 1. Existing building on Site



Figure 2. Surrounding buildings



Figure 3. PHASE PLAN

2.3 EXISTING LANDSCAPE SOLUTIONS

There are 10 trees and a few shrubs located on the east side of the site near 16th Avenue East. The landscape vision was to maintain as many health vegetation as possible while providing a pleasant entrance to the site.

A tree protection plan was put in place to maintain all health trees on site.

Tree Protection Plan (TPP): Please note that the TPP may change based on the servicing and grading plans once they are receive.

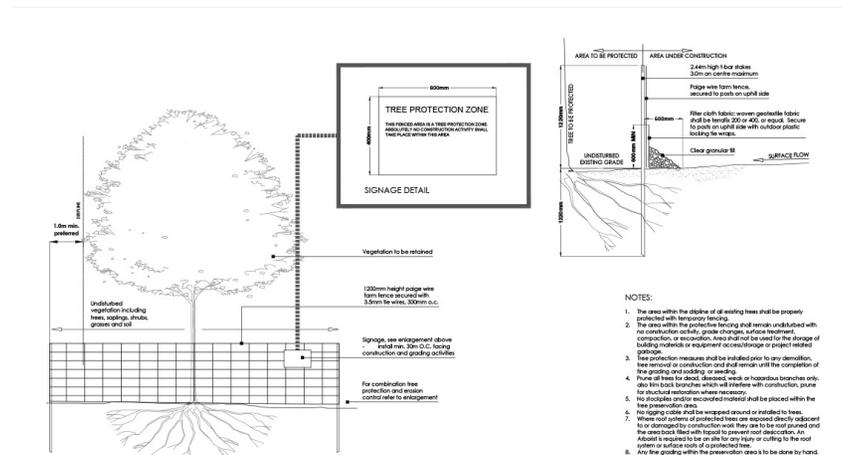


Figure 4. Tree protection Plan

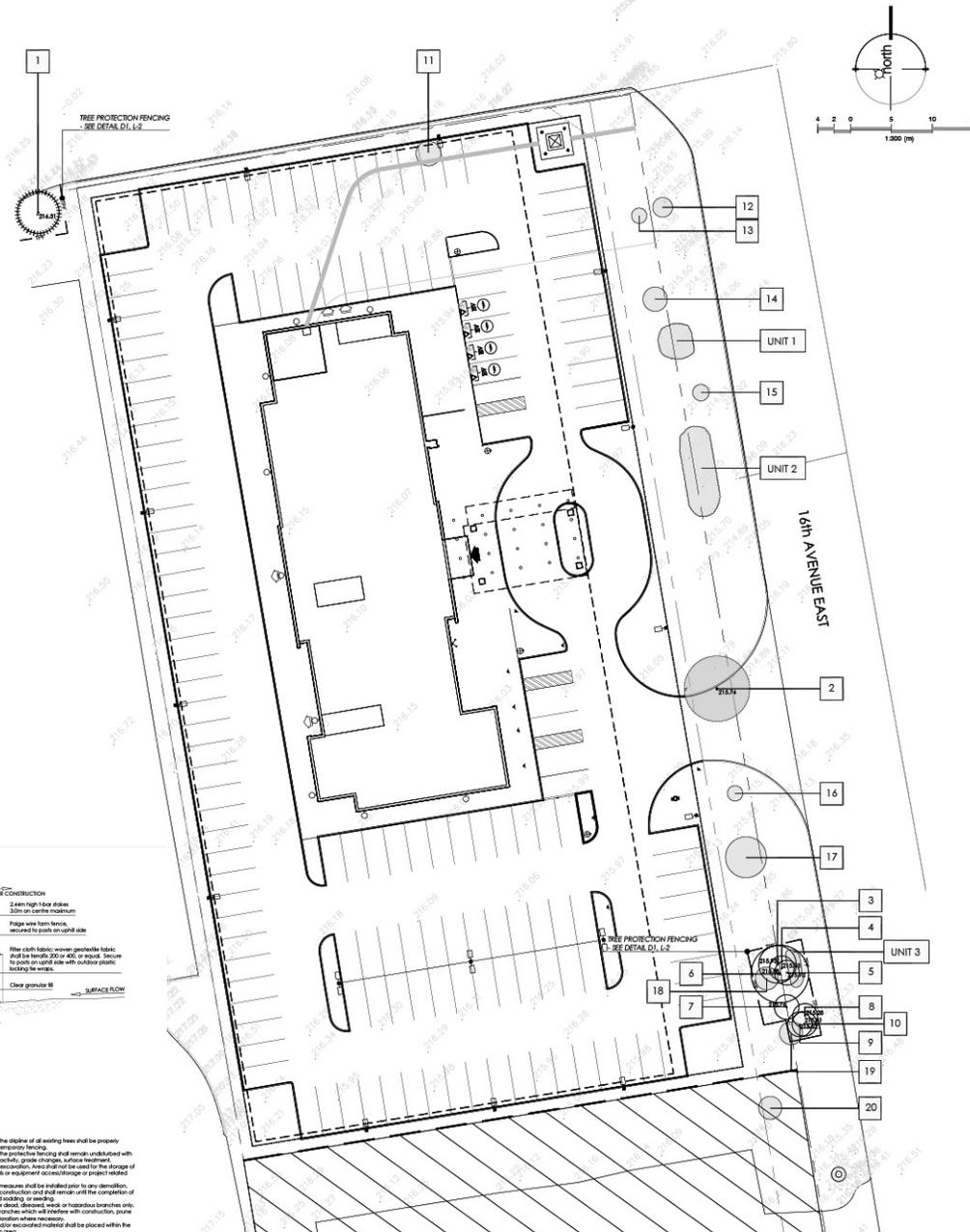


Figure 5. Existing Vegetation plans



3 PUBLIC & PRIVATE REALM

3.1 SITE PLAN & DEVELOPMENT VISION

The proposed development is a 6-storey Long stay Hotel. The hotel houses 120 rooms in total with a Building area of 1157 sm. The Site hosts 152 parking spots, 6 additional spots from the required 146 parking spots by the city of Owen Sound. The proposal fits within the city’s overall vision of managing anticipated population growth through redevelopment and intensification of the site. The proposal also adds variation to the proposed Hotel options within the surrounding neighborhood, serving an identified community need for travelers.

The proposal objectives is to optimize the use of the site and better utilize the city’s existing infrastructure and resources, provide built form with a strong contemporary presence while respecting surrounding scale/ context and avoid negative impacts to adjacent city developments and expansions.

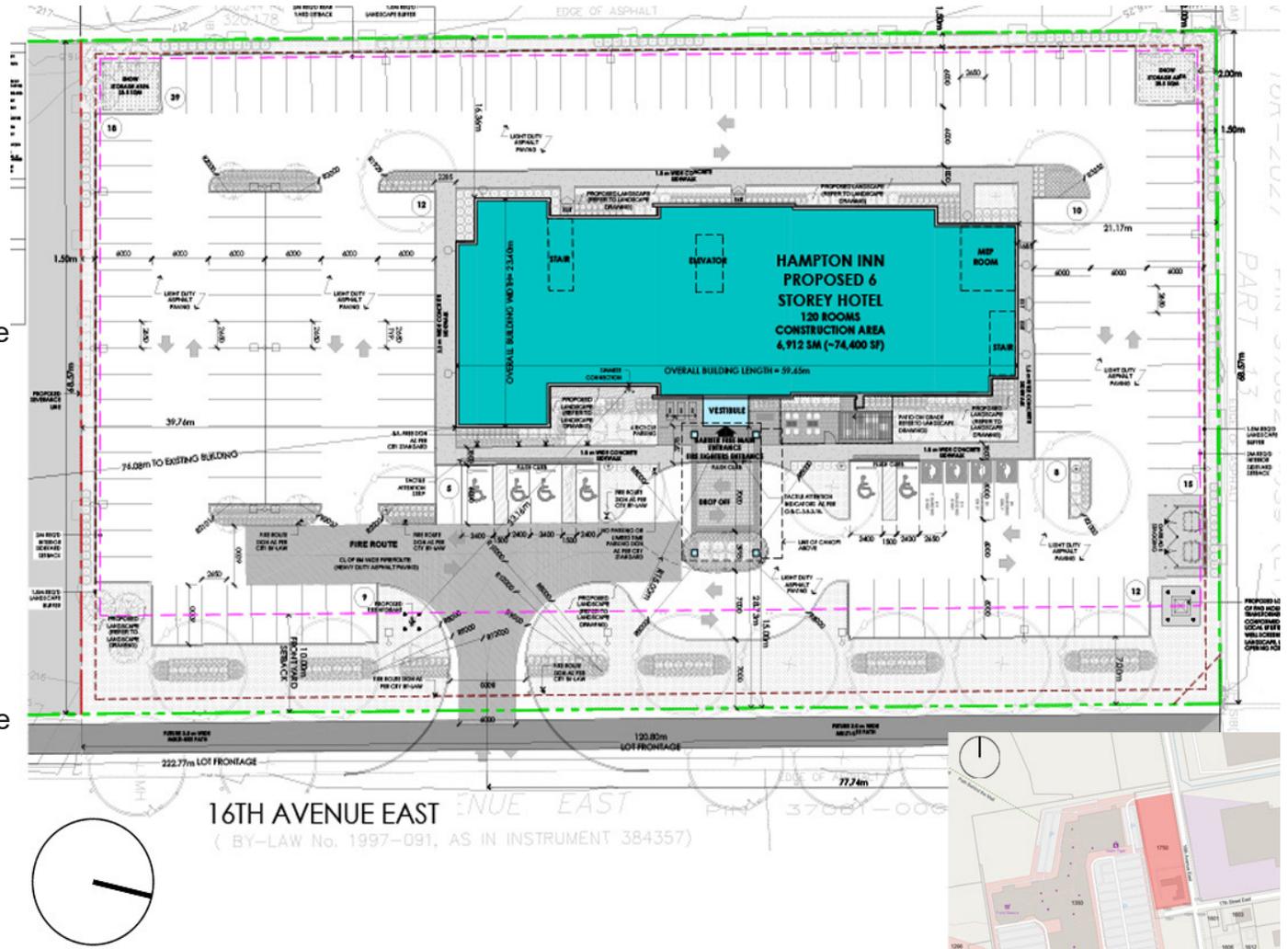


Figure 6. Site Plan

2.2 LINKAGE, CONNECTIONS & CIRCULATIONS

2.2.1 TRANSIT

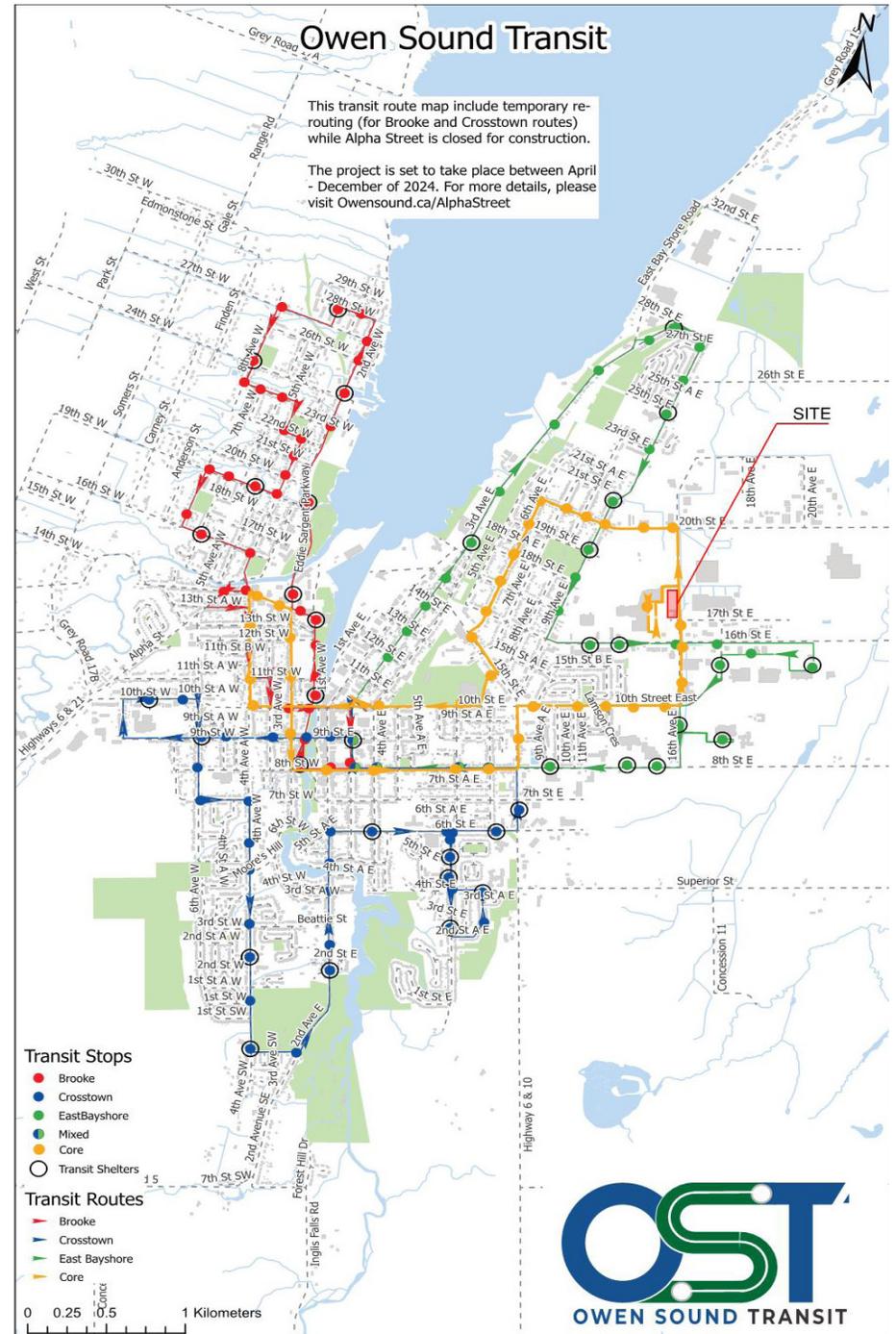
The site falls directly beside the “CORE” circulation of the Owen Sound Transit plan. with only walking distance to the bus stop, the site itself promotes public transportation

2.1.2 SITE CIRCULATION

The building lays on the center of the site, where is it surrounded by a sidewalk to provide safe pedestrian accessibility, and promote “safe movement around vehicles, barrier free sidewalks and building entrances and such other measures as may be appropriate.” (8.4.1.1 Final approved official Plan). There are 6 accessible parking areas “designed to support accessibility by all citizens in compliance with the Ontario Building Code and AODA.” (8.4.2.3 Final approved official Plan) near the entrance, 4 EV Parking stations and 6 Bike racks to promote sustainability.

The building itself is in the closest location possible to the front of the site, while maintaining circulation and providing the required 5m road widening clearance requested by the city at 16th Avenue East. A 3m wide multiuse path was provided in the design as per city’s request located at 16th Avenue East to promote cycling and walking in the city. Furthermore, the main entrance to the site is 77.74 m away from the side road intersection 17.74 m more than requested by the city providing a safe entrance to vehicles.

The site was designed to adhere to all city visions while maintaining a safe circulation. Massing of the building and outdoor seating areas where taken into consideration while designing the site. (See 3.1 built form)



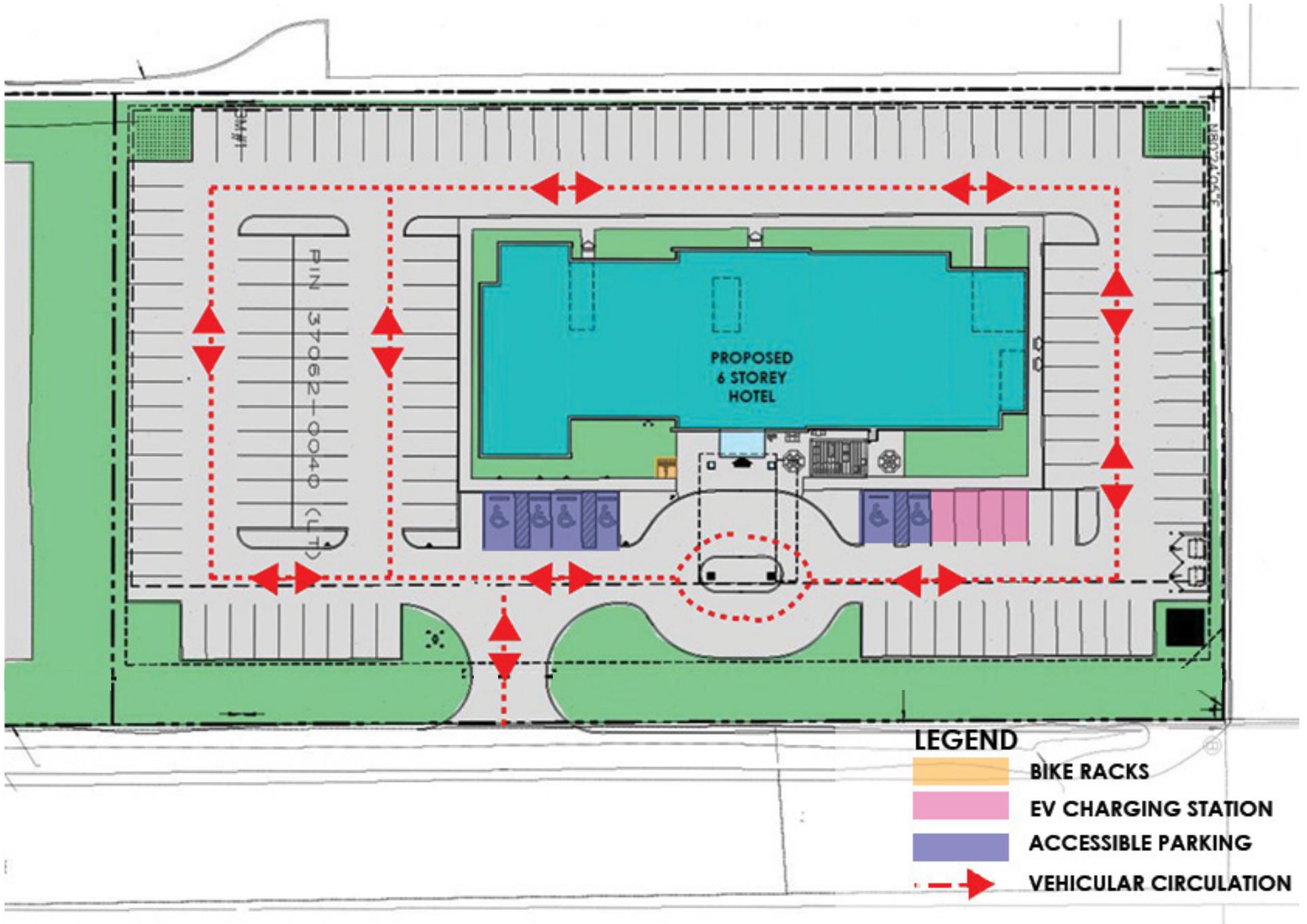


Figure 8. Site plan circulation

2.3 LANDSCAPE PLAN

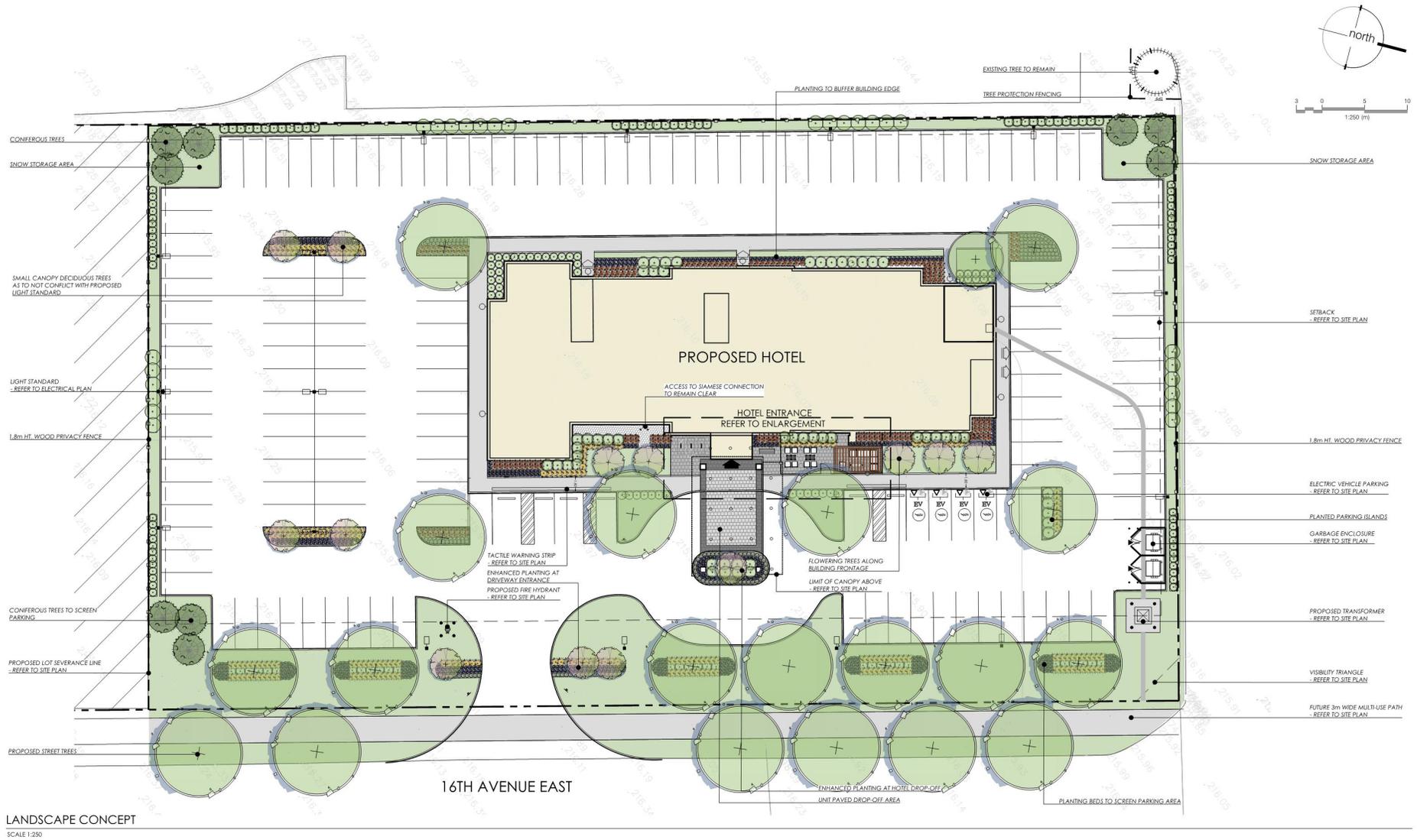
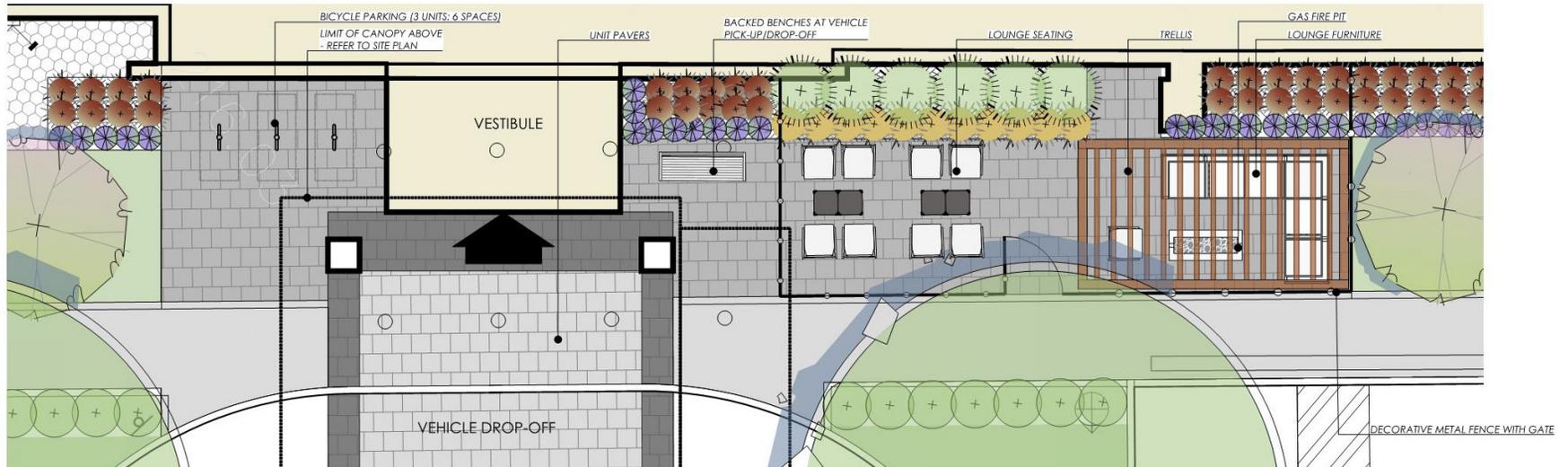


Figure 9. Landscape Plan.



HOTEL ENTRANCE ENLARGEMENT
SCALE 1:75

Figure 10. Landscape Details.

2.3.2 Landscape Vision

The landscape design creates an inviting and unique experience for hotel guests, employees, and visitors through the use of planting, strategic screening, site furniture, and enhanced landscaped amenity areas. It complements the building design while seamlessly integrating the new development into the existing surroundings. Large planting beds along 16th Avenue East feature native shrubs, grasses, perennials, and high-canopy trees. These planting beds enhance the street-scape by providing shade and screening the parking lot, while still allowing select views of the hotel and signage. Native and drought resistant plant species will be prioritized to promote sustainability and resilience, while coniferous trees and shrubs will be incorporated to provide year-round greenery and visual interest. Planting around the building softens its appearance, and fencing discreetly screens neighboring commercial developments and parking areas. The upgraded treatment at the lobby entrance elevates the guest arrival experience, with planting, enhanced unit paving and site furniture framing the hotel's focal point. Adjacent to the lobby entrance is a landscaped amenity area, featuring a unit paved patio, a gas fire feature and lounge seating for guest relaxation. Additional greenery softens hardscapes around the building, while planted parking islands reduce the urban heat island effect and create a pleasant experience throughout the site.

Planting: The proposed design includes enhanced planting around the driveway and building entrance, with emphasis on coniferous trees and shrubs to meet the Owen Sound guideline requiring 50% coniferous species. A plant list will be added at the SPA phase of the design.

Sidewalk: Owen Sound requires sidewalks abutting parking stalls to be 1.8m wide. The plan adjusts the sidewalks around the building to meet this requirement where possible.

Patio Space: The proposed patio is designed as a passive space for guests to relax. It includes lounge seating, a gas fire feature, and a trellis. A decorative metal fence and gate has been proposed to separate the area from the hotel drop-off zone.

3 BUILT FORM

3.1 BUILT FORM PRINCIPLES

3.1.1 Massing & Layout

The proposed development is a 6 storey Long stay Hotel. The hotel's mass is rectangular with some areas more extruded than others, to break down the horizontal feeling, some vertical elements have been added to give it more of an elegant look. The play of light vs heavy materials in the massing also adds some visual relief to the building.

The shadow study of the building indicates that the outdoor seating area is shaded in the afternoon where the sun is at its highest providing a great seating area for the guests to connect with the outdoors.

Exterior lighting has been added to the outdoor facade to insure the safety of the visitors and provide clear sightlines. (8.7.1.3 Final approved official Plan)

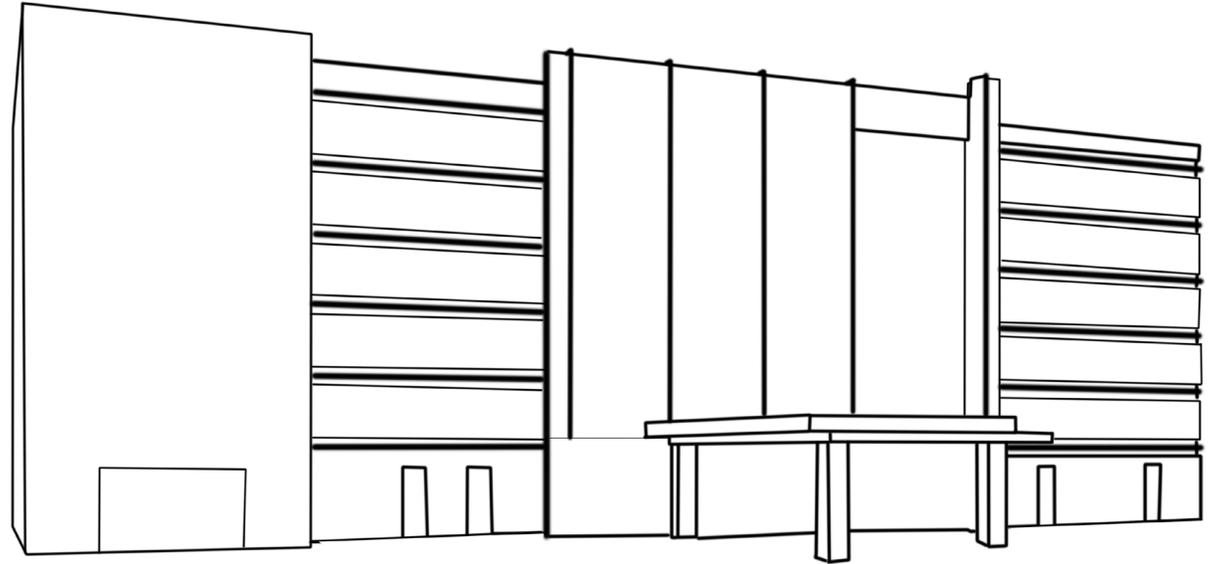


Figure 11. Massing Form

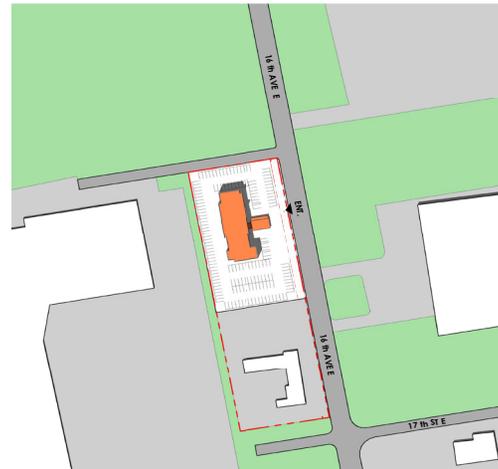


Figure 12. March 21st @ 2pm shadow study

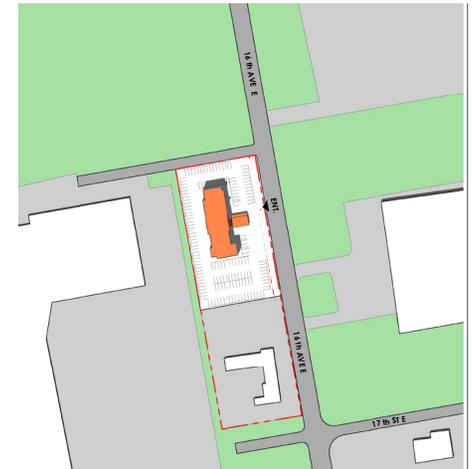


Figure 13. June 21st @ 2pm shadow study



Figure 14. Ground Floor Plan

3.1.2 PLAN LAYOUT

The Main entrance of the building falls at the east side of the plot with a clear drop off area designated for visitors away from on going traffic. The building falls in the center of the plot making it accessible to all visitors. The ground floor consists mostly of the public spaces required by the brand. The remaining portions of the floor plan are for administration and back of house to support all functions of the Hotel. Outdoor seating areas are provided to connect the guests with the outdoor area and promote healthy connections to the outdoors.

3.1.2 PLAN LAYOUT

The typical floor consists mostly guestrooms with three rooms for the B.O.H. Emergency exists have been provided as per OBC code. Accessible rooms have been provided as required by code.



Figure 15. Typical Floor Plan

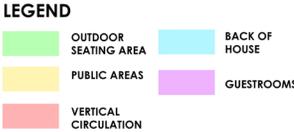


Figure 16. Typical Floor Plan

3.1.3 ARCHITECTURAL STYLE & MATERIALS

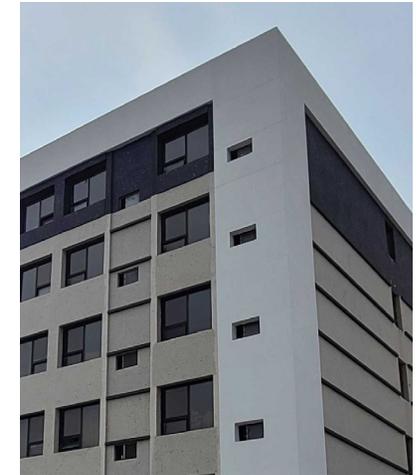
Our approach to the exterior design is to achieve a fresh contemporary and balanced building that will be a Landmark in the area. The proposal is inspired by contemporary style with clean lines and a neutral color scheme blended with accents of natural materials.

The designed hotel is proposed to play with different colors of EIFS at different areas in the elevation. The use of lighting in the elevation brings out the design even further to create a timeless and visually pleasant building.

The building design utilizes a limited palette of materials and colors for overall cohesiveness. Change in materials help to break up the massing and uniformity of the adjoining units while also creating a visual rhythm to the façade. The exterior building finished will be in keeping with the Urban fabric of the town of Hamilton while maintaining a timeless look.



Wood ACM panels



EIFS White



EIFS Charcoal and Green

Figure 17. Sample Material



Project name:ConneXion



Project name:Dwell City Towns



Project name:Downtown brambleton

Figure 18. Conceptual Design Inspiration of Contemporary buildings

3.1 ELEVATION DRAWINGS & PERSPECTIVE RENDERS



Figure 19. South Elevation



Figure 20. North Elevation

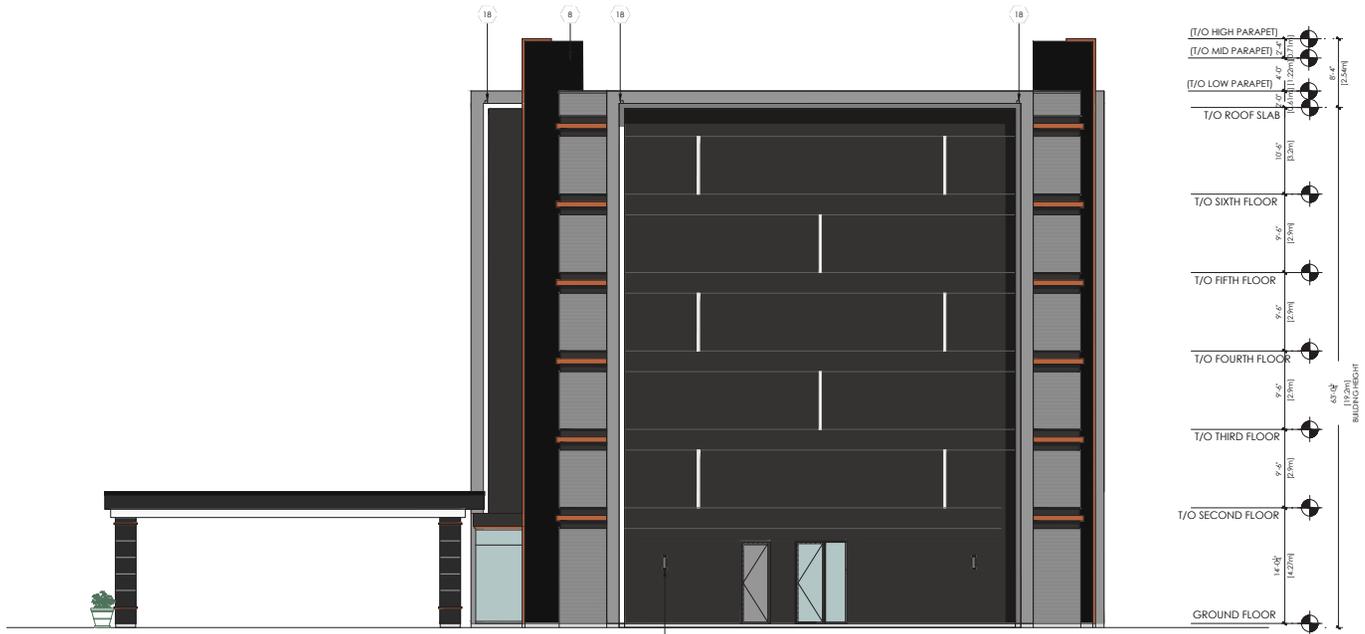


Figure 22. West Elevation

EXTERIOR FINISH SCHEDULE	
MATERIAL/FINISH	COLOR
1 EIFS SYSTEM, GEMSTONE FINISH BY STO	LIGHT DOLOMITE WHITE
2 FIBERCEMENT PANEL BY EQUITONE, LINEAR 30	GREY
3 EIFS SYSTEM, REGULAR FINISH	GREY
4 EIFS SYSTEM, REGULAR FINISH	KENDAL CHARCOAL BM
5 EIFS SYSTEM, SMOOTH FINISH	RUST BM 2175-30
6 EIFS SYSTEM, SMOOTH & METALLIC FINISH	WHITE
7 4"x4" EIFS FIN	WHITE
8 ACM PANEL WITH GRAY REVEAL, SM CLADDING SOLUTIONS	BLACK
9 2"H x 3"W EIFS FIN, SMOOTH METALLIC FINISH	WHITE
10 ACM PANEL BY SM CLADDING	CHARCOAL
11 ACM PANEL BY SM CLADDING	BONE WHITE
12 1/2" TEMPERED GLASS OR AS RECOMMENDED BY SUPPLIER	CLEAR
13 2x2 ACM FIN	RUST BM 2175-30
14 AUTOMATED FRAMELESS GLASS DOOR	CLEAR GLASS WITH ETCHED PATTERN
15 RECESSED 2" CONT. LED LIGHTING WITH WHITE LENS FLUSH MOUNTED	3000K COLOR
16 ILLUMINATED SIGNAGE	DOLOMITE WHITE, 2015-1L
17 LED WALL SCONCE, MEDIUM SIZE	BLACK FIXTURE, 3000K
18 LED 2x2 POT LIGHT	CHARCOAL RIM, 3000K



Figure 21. East Elevation

3.1 ELEVATION DRAWINGS & PERSPECTIVE RENDERS



Figure 23. Perspective Renders

4 SUSTAINABILITY PRINCIPLES

STORMWATER

Stormwater management is proposed in accordance with bylaw and authority requirements.

LIGHTING

Exterior lighting shall be designed for safety and comfort to reduce light pollution - Dark sky compliance.

ENERGY EFFICIENCY

Further development of building drawings will include energy efficient systems, fixtures, and building envelope in accordance with OBC (to be finalized at detailed design stage).

MOBILITY

This proposal provides safe and accessible connections to the existing municipal road network that support cycling and walking which encourages a healthy lifestyle.

BIRD FRIENDLY DESIGN

Building shall be designed to create visual markers on glazing facades in combination with non-reflective glass to prevent bird collisions.

NATURAL ENVIRONMENT AND OPEN SPACE

Preservation and enhancement of adjacent natural features and their associated buffers. Building orientation and setbacks to provide strong relation to natural settings.

WHITE ROOFS

It is our intent to utilize roofing materials which have a high Solar Reflectance Index (SRI) to reduce the Urban Heat Island effect.



Figure 24. Examples of sustainable measures

5 IMPLEMENTATION

This Urban Design Brief has been prepared to provide the urban design principles and objectives that support the proposed development. In addition to the requirements outlined in this brief, the proposal is also subject to the provisions of the “City of Owen Sound - Final approved official Plan”



Figure 25. Rendering View 1



MATAJ
ARCHITECTS INC

418 IROQUOIS SHORE RD, UNIT 206, OAKVILLE, ON L6H 0X7

T: 905.281.4444

WWW.MATAJARCHITECTS.COM